

Pattern Book

*This describes
some of the
Architecture
requirements
for all
Custom homes.*



Ty Albright
1999 Countryside
Carrollton, TX 75007

THE HOMESTEAD AT CARROLLTON
Carrollton, Texas

Inappropriate Streetscape

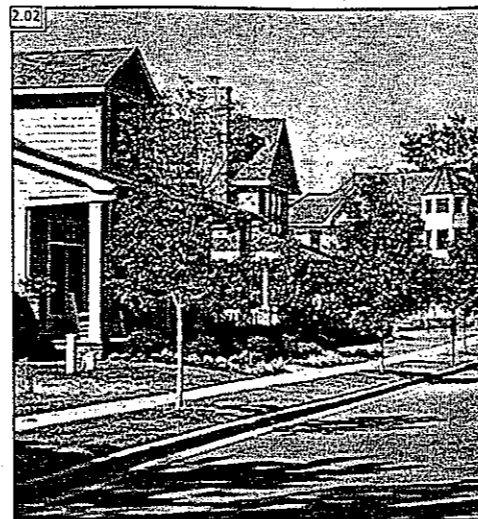
NO



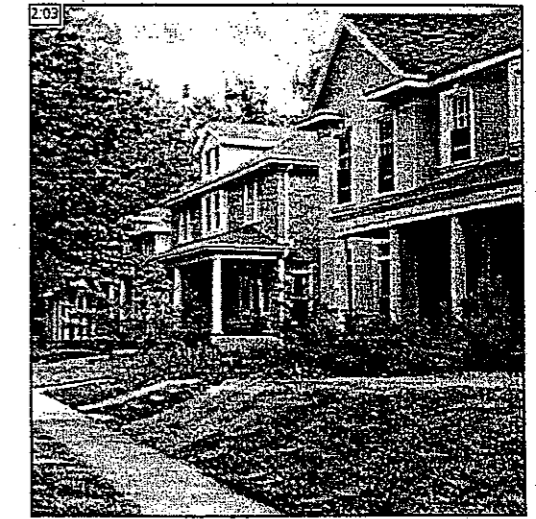
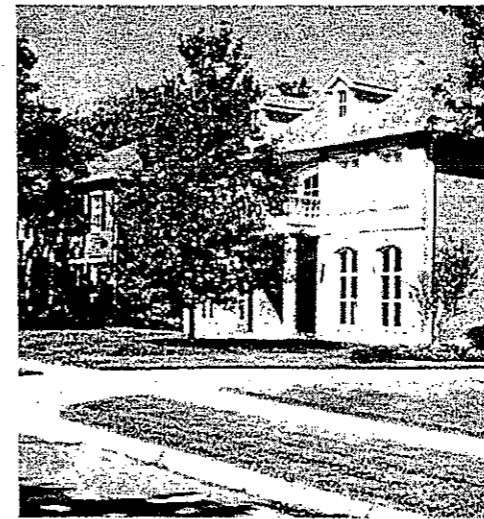
Monotonous, "cookie-cutter" style houses on large, uniform setbacks are inappropriate.

Appropriate Streetscape

YES



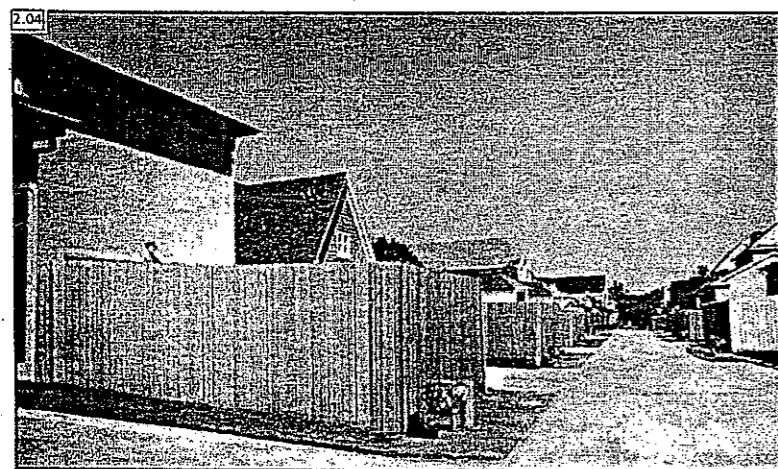
Homes which vary in architectural styles, colors and materials make highly desirable streetscapes.



A consistent building setback creates the pleasant streetscape environment preferred by homebuyers.

Inappropriate Alley Character

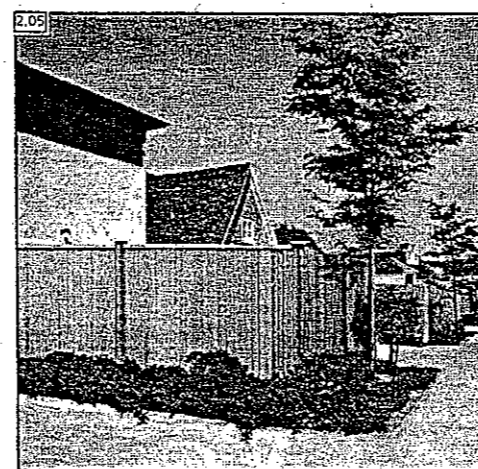
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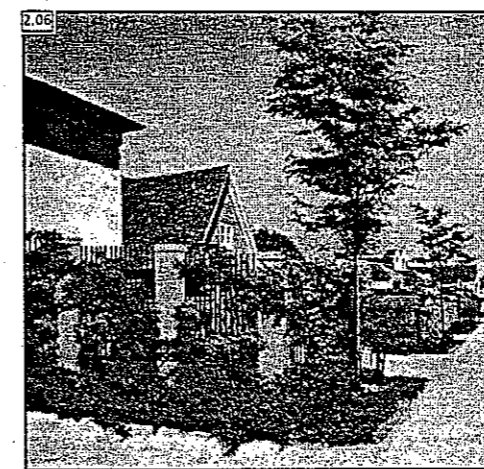
No landscaping, tall fences lacking any 'detail' and exposed utility meters along the alley are least preferred by homebuyers and are inappropriate.

Appropriate Alley Character

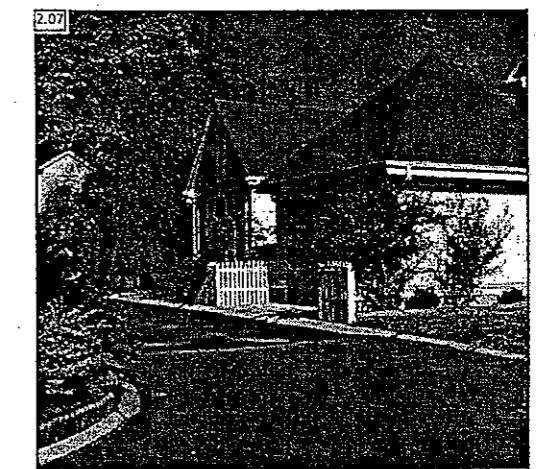
YES



Evergreen ground cover, shrubs and one tree per lot are used to enhance the alley edge.



Another alternative is to enhance the fence with more attractive semi-transparent treatment.



Research results indicate that buyers prefer alleys with more open fencing, architectural variety and landscaping.

General Notes:

Streetscape & Alley Elements

Streetscape
A variety of porch sizes and styles create a unique streetscape character.
The variation in front yard setbacks for each lot type define the edge of the street while side yard variations establish the open character of the block. (See pages 11-14.)
The homes and habitable porches on one block face should be located along the front setback line to

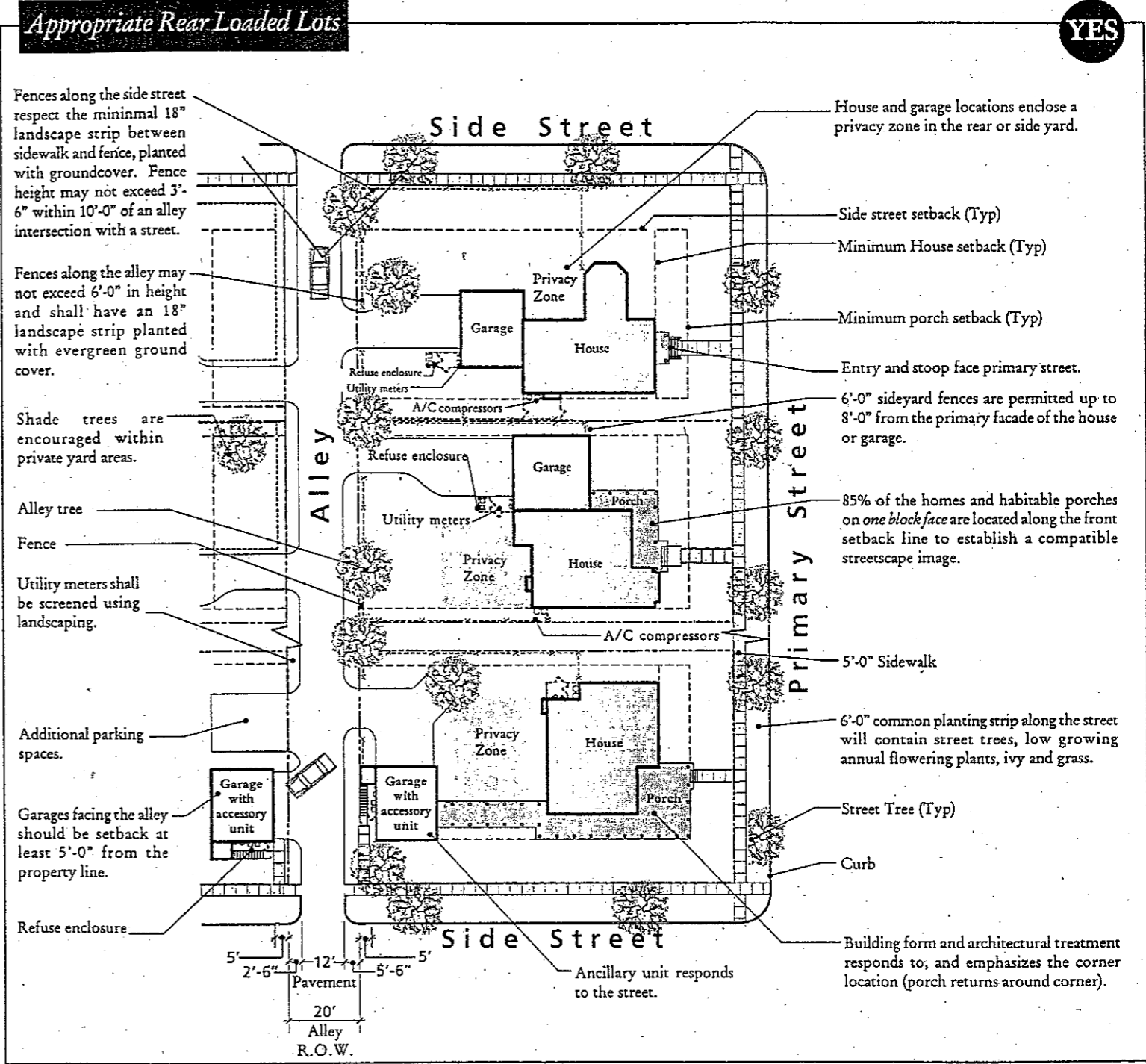
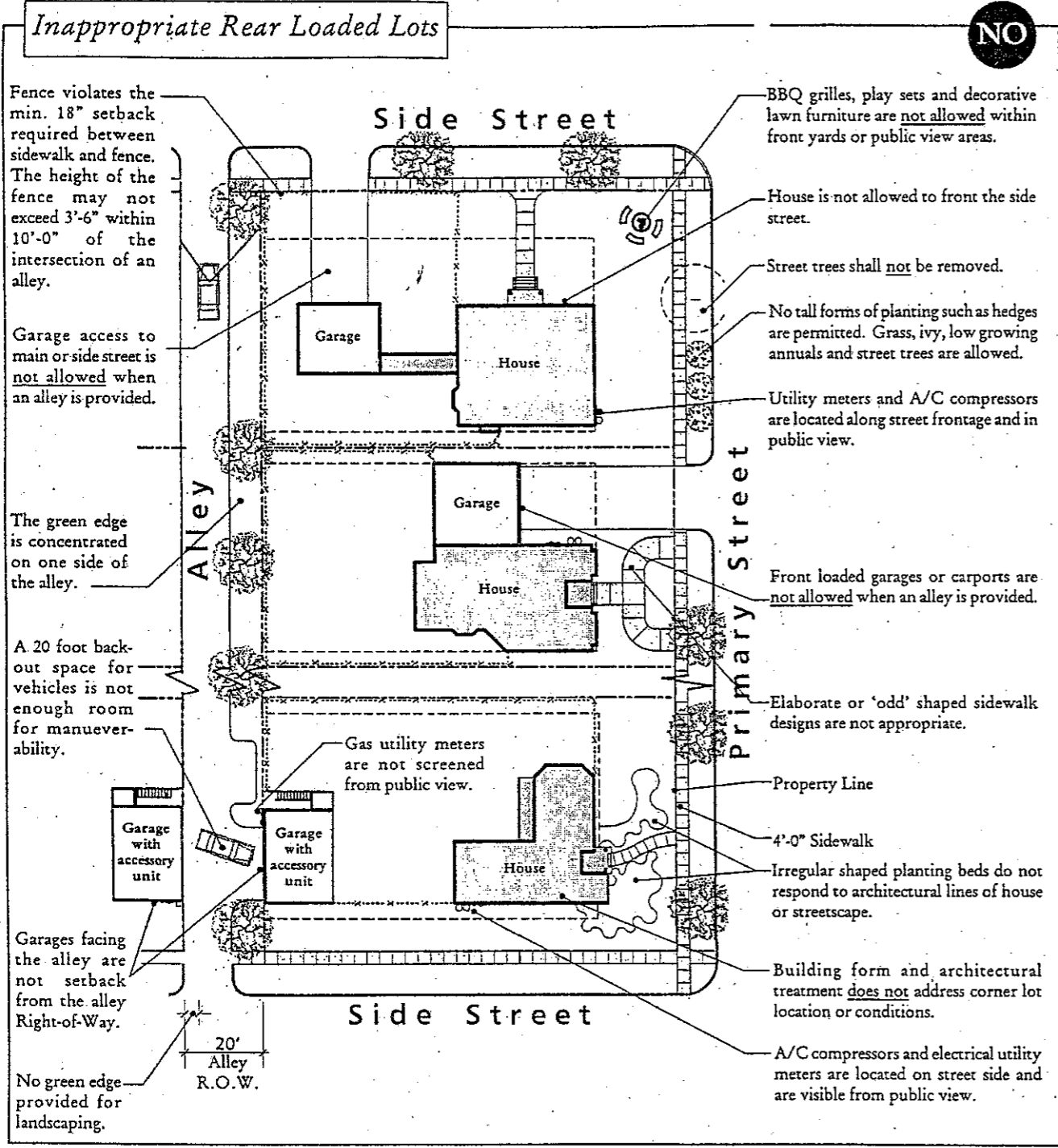
establish a compatible streetscape image. Up to 15% on one block face may be located behind the front setback line.
A 6'-0" common planting strip along the street will contain street trees, lights, and grass or specified ground cover.
Sidewalks are 5'-0" wide and concrete. Sidewalks should maintain a minimum 18" ground cover edge along any fence.

Alley
Ancillary units located within upper attic areas of the garages are appropriate. Encroachment over the property line is not permitted.
Garage forms and detailing should be of complementary but simplified design and quality to primary facade elements of the house.
Garages facing the alley should be at least 5'-0" from the property line.

A minimum of one exterior decorative light fixture 75 watt (max.), operated by photocell or motion detection, shall be provided along the rear facade of each garage.
Downspouts and drainage will be in accordance with the grading plan for each lot to assure proper drainage away from the foundation.
The space between the fence and the alley pavement shall be landscaped with grass, ground cover, and a minimum of one tree per lot. Shrubs are encouraged.

Fences along alleys shall be of complementary but simplified design quality to front and side yard fences and shall not exceed 6'-0" total height. Tall fences lacking any 'detail' abutting the alley are not preferred.
On a corner lot, fences along the alley may only have the bottom 4'-0" solid with the upper portion 50% open. Along side streets, the minimal 18" landscape strip between sidewalk and fence shall be planted with ground cover and shrubs. Fence height may not exceed 3'-6" within 10'-0" of the

intersection of an alley.
Landscaping (page 18)
Low growing annual flowering plants, ivy and grass are permitted on the planting strip. Ivy is recommended in-between fence and sidewalk.
Street Trees - see Master Street Tree Key.
The space between the fence and the alley pavement shall be landscaped with small trees, grass, ground cover, and shrubs.



General Notes:
Site Planning Characteristics

A corner lot's primary street is relative to the home's frontage. Side streets have larger setbacks to accommodate appropriate fencing and hedging.

Sideyards are defined as the minimum distance between a side lot line and the side of any building on the lot. Setback locations and information per lot type are provided on pages 11-14.

Fences (page 18)
Front yards may have a fence or hedge provided that its maximum height does not exceed 3'-6" and its location is minimum of 18" from the sidewalk edge.

Fences along the side street of a corner lot (except estate lots) shall not exceed 6'-0" total height, but only bottom 4'-0" can be solid, with the upper portion 50% open.

Fences along alleys shall be of same design and construction quality as front and side yard fences:

Garages (page 8)
A variety of garage and parking arrangements should be provided to create a more visually interesting alley.

A minimum of one exterior decorative light fixture 75 watt max., operated by motion detection, shall be provide along the rear facade of each garage.

Garages facing the alley should be at least 5'-0" from the property line.

Garages shall be located in the rear of the lot to the extent possible.

Front entry garages shall be located at minimum 18'-0" from the primary facade of the house.

A maximum of two garage doors shall be visible from a public street.

Driveways shall be a maximum 9'-0" width within the front yard.

Electrical utility meters shall be located toward the rear of house and screened by landscaping or appropriate fence.

Gas utility meters are located in the rear alley. They shall be screened with landscaping.

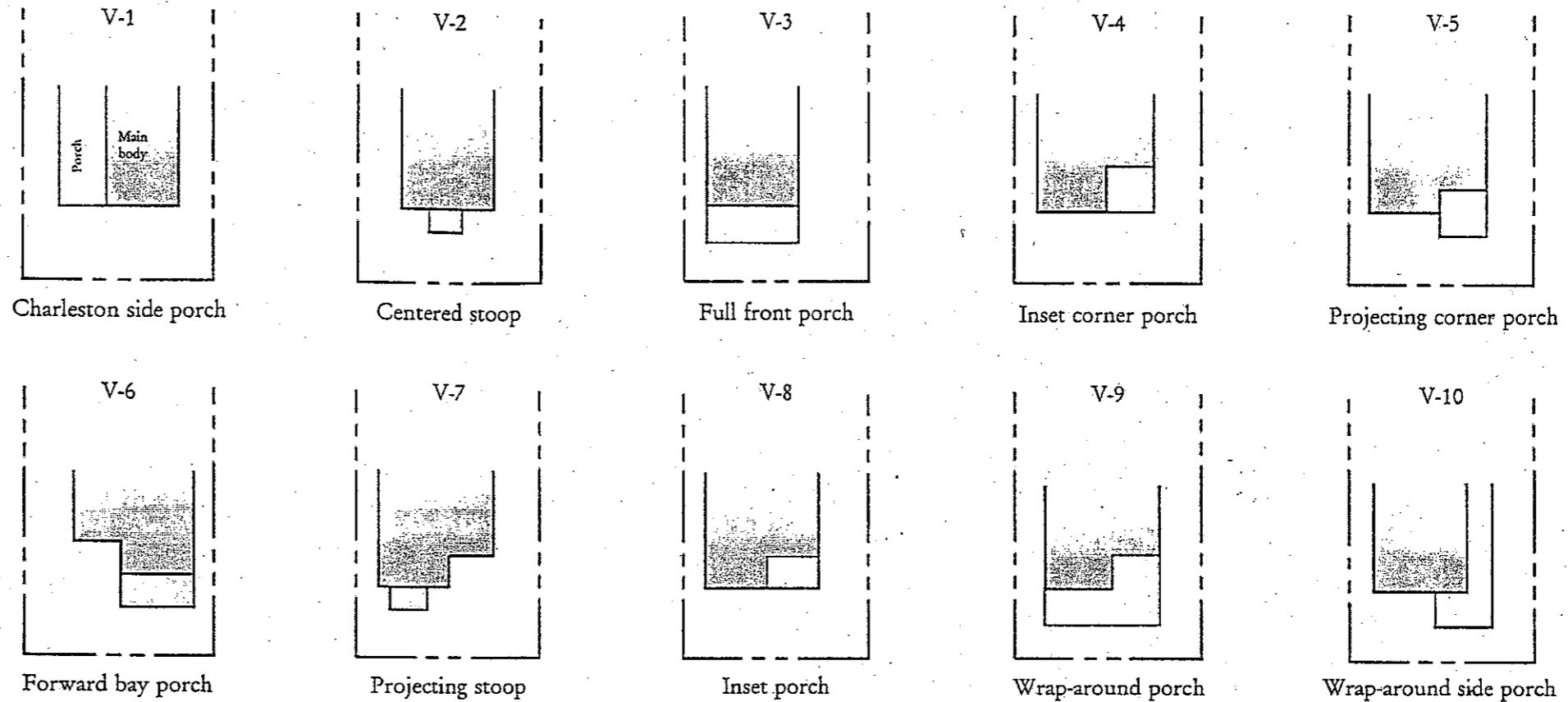
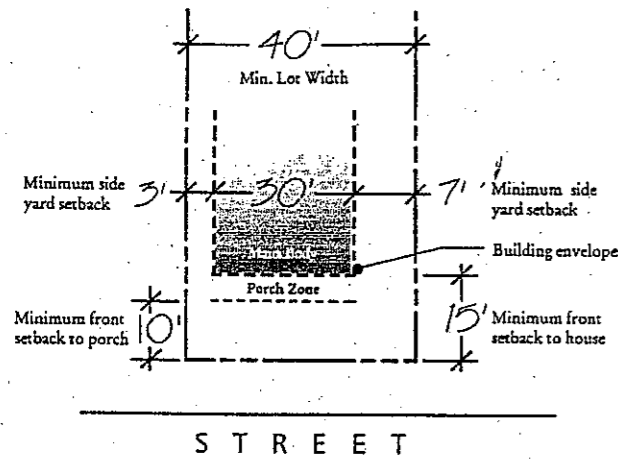
A/C compressors shall not be visible and will be located away from public view.

Refuse containers must be stored within an enclosed area, fenced or screened by landscaping.

Privacy zones are enclosed rear or side yard spaces formed by the location of the house and garage on each lot. These spaces are small in scale and act as an extension to rooms in the house.

Site plan for each lot shall show all improvements including sidewalks, walkways, fences, shade trees, utility meters, A/C compressors, and refuse storage.

Villa Lots



General Notes:
Footprints & Massing

A consistent front setback line shall be provided for 85% of the homes and habitable porches on *one block face* shall be located along the same front setback line to establish a compatible streetscape image. A block face refers to one side of the block.

Forward portion of the main body of the house shall not exceed 30'-0" in width. No offsets are required on front facing body of the house.

Corner buildings have two front facades visibly exposed to the streets designed to respond to these more prominent locations in the site. Corner buildings are encouraged to have wider massings and special treatments that wrap both exposed facades with the same architectural quality and detail.

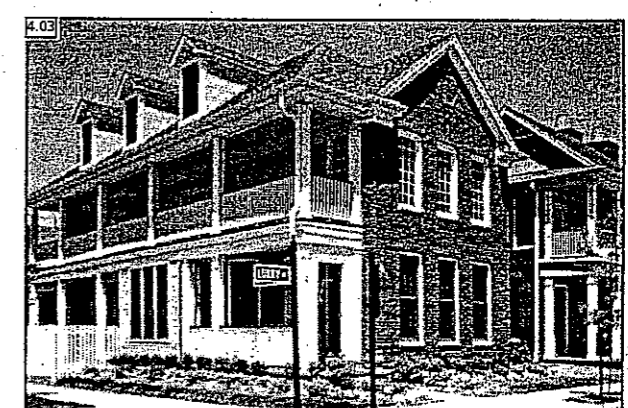
Lots abutting open space shall use houses designed with porches and massing that respond to both the primary street and the abutting open space.



A full front porch across the main body of the house (see V-3 above) is appropriate for the symmetrical form of neoclassical style homes.

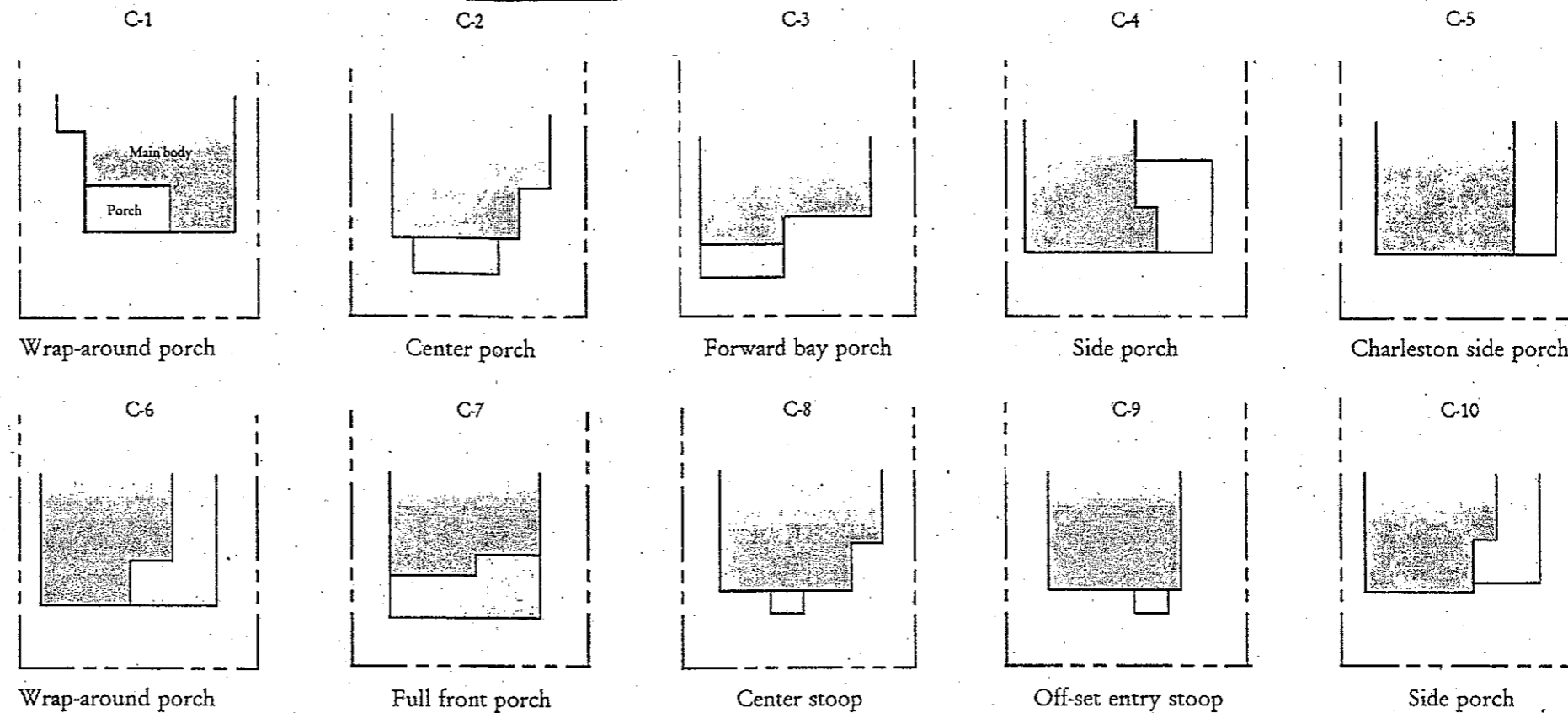
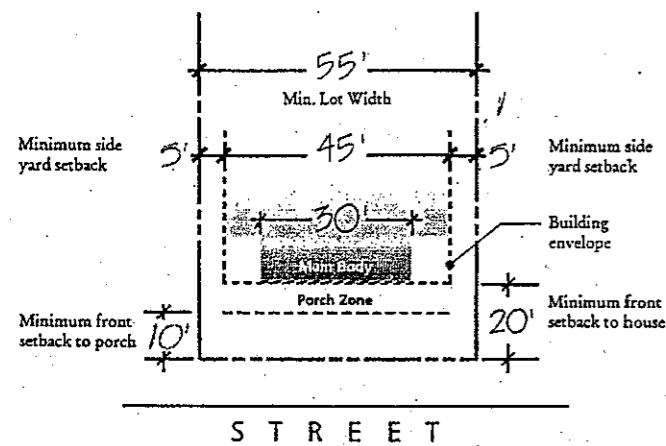


Craftsman and cottage style homes with a front projecting gable lend themselves to the footprint and massing of the forward bay porch (see V-6 above). The single offset to the main body in this form accentuates the porch while creating visual interest to the curb appeal of a smaller home. Research indicated that this house was highly popular.



Example of Charleston side porch that responds to a corner location (see V-1 above). Research results suggest that a deeper front yard setback than that pictured is more desirable.

Chateau Lots



General Notes:
Footprints & Massing

A consistent front setback line shall be provided for 85% of the homes and habitable porches on *one block face* shall be located along the same front setback line to establish a compatible streetscape image. A block face refers to one side of the block.

Forward portion of the main body of the house shall not exceed 30'-0" in width. No offsets are required on front facing body of the house.

Corner buildings have two front facades visibly exposed to the streets designed to respond to these more prominent locations in the site. Corner buildings are encouraged to have wider massings and special treatments that wrap both exposed facades with the same architectural quality and detail.

Lots abutting open space shall use houses designed with porches and massing that respond to both the primary street and the abutting open space.

The side yard setbacks for lots along the Esplanade are: 3'-0" one; 10'-0" both.



The center stoop footprint helps anchor the symmetry of this classically-inspired home (see C-8 above).

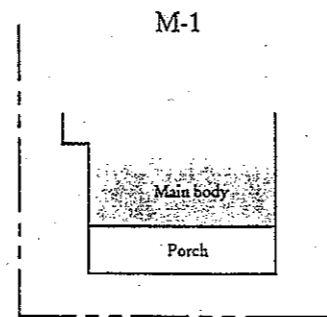
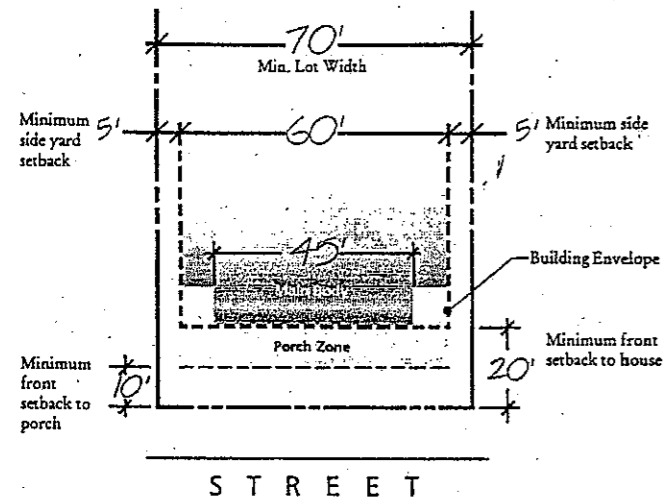


Wrap-around side porches with few balustrade details provide an open, welcoming image in relation to the street (see C-6 above). This type of porch is a hallmark of the Texana Farm-house style.

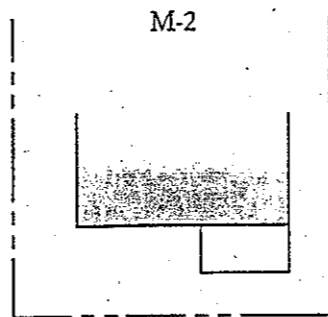


Example of projecting side porch to respond to corner location (see C-10 above).

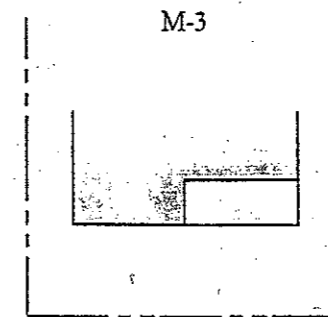
Manor Lots



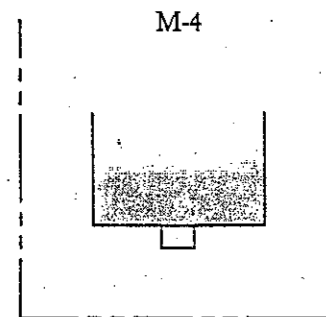
Full front porch



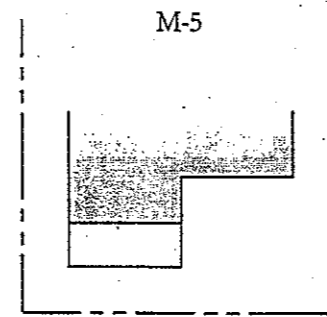
End bay porch



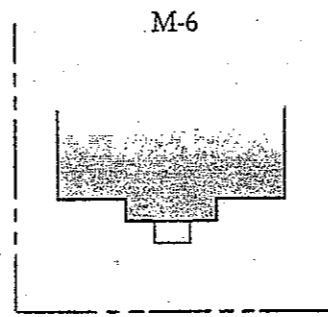
Inset front porch



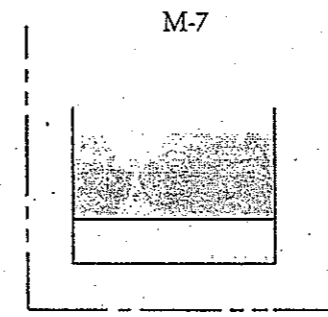
Stoop



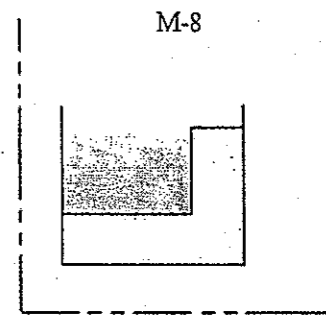
Forward bay porch



Centered stoop



Full front porch



Wrap-around front porch

General Notes:
 Footprints & Massing

A consistent front setback line shall be provided for 85% of the homes and habitable porches on one block face shall be located along the same front setback line to establish a compatible streetscape image. A block face refers to one side of the block.

Forward portion of the main body of the house shall not exceed 45'-0" in width. At least one offset shall be required on the main body unless a full front porch is provided.

Corner buildings have two front facades visibly exposed to the street designed to respond to these more prominent locations in the site. Corner buildings are encouraged to have wider massings and special treatments that wrap both exposed facades with the same architectural quality and detail.

Lots abutting open space shall use houses designed with porches and massing that respond to both the primary street and the abutting open space.



This house with a generous wrap-around front porch proved highly popular in market research. (see M-8 above).

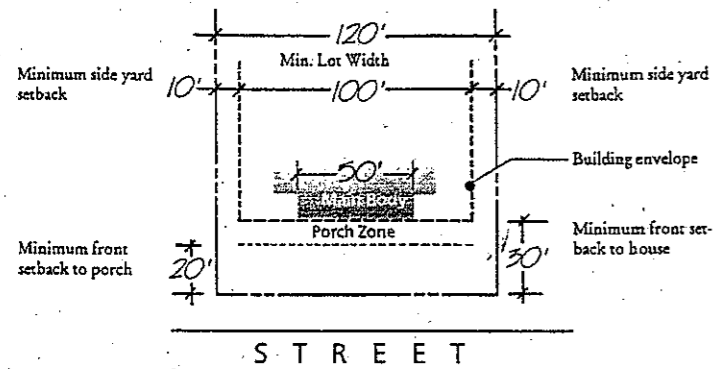


The footprint of an inset front porch (see M-3 above) balances an offset in the massing of the main body. The forward gable counter-balances the front porch and projecting bay window.

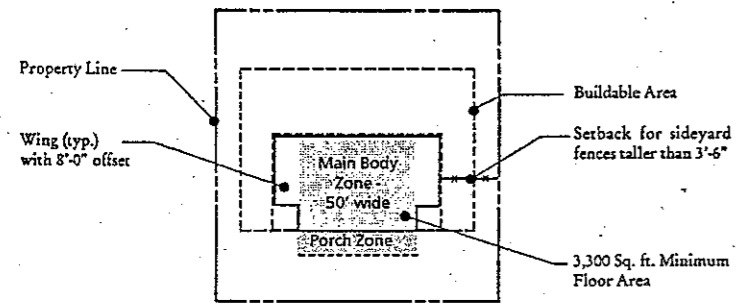


Example of a full front porch with projecting secondary gable to respond to corner location (see M-1 above).

Estate Lots

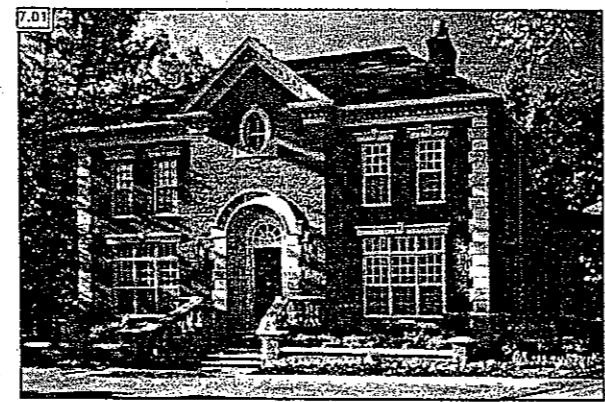
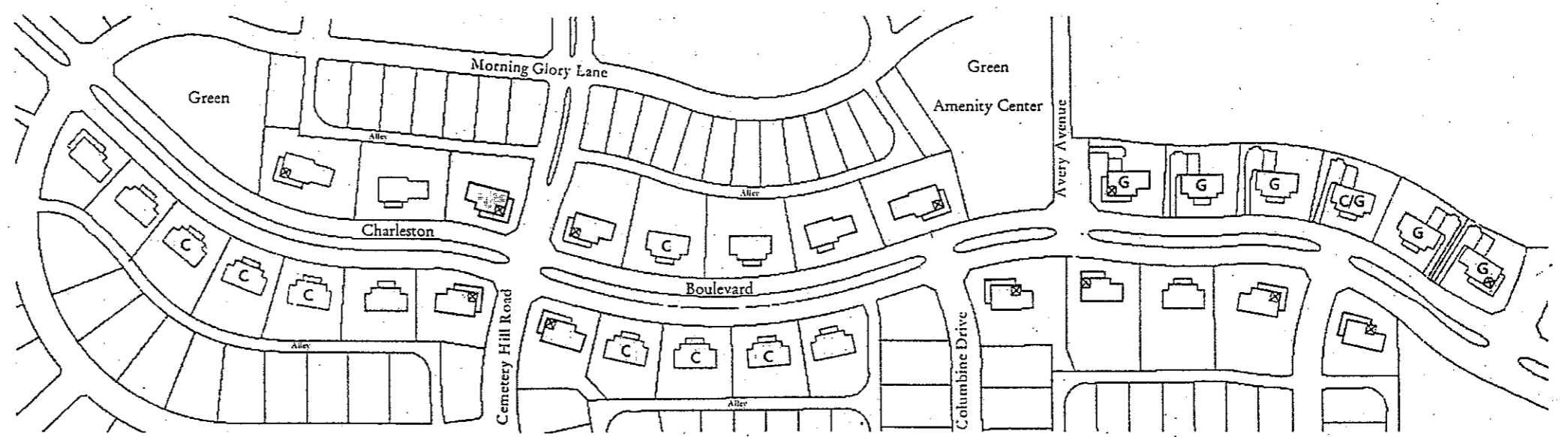


Key

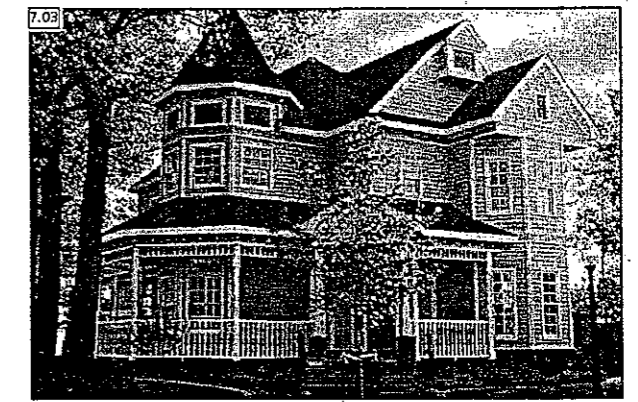
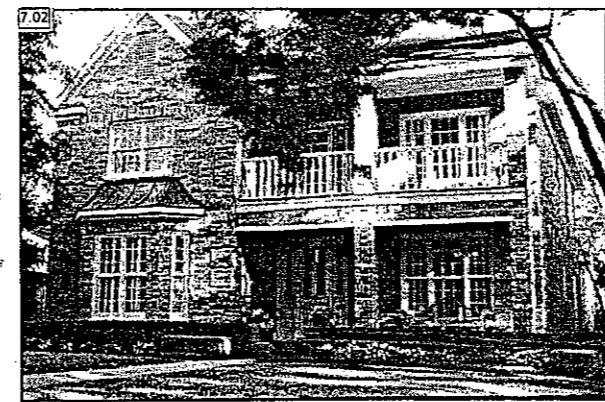


- ⊗ Special focal point corner features
- ⊙ House "centered" on lot
- ⊙ Non-alley access garage locations

Note: This site plan provides the optimal building orientation and location for the Estate homes. The diagrams are not actual building footprints; they represent the recommended minimum floor area per unit, 3,300 square feet. The building diagrams in the map to the right show the optimal locations for porches, building mass and wings.



This classical revival home has an accentuated entry bay using two offsets and a stair and balustrade extending into the porch zone. This symmetrical plan would work well on "C" lots where the house is centered on the lot.



Special focal point corner features can include turrets and wrap-around porches on Victorian Revival homes.

General Notes:
Massing

A consistent front setback line shall be provided for 80% of the homes and habitable porches on one block face shall be located along the same front setback line to establish a compatible streetscape image. A block face refers to one side of the block. Lots or buildings with special or exceptional conditions may be given greater flexibility in establishing setbacks.

Forward portion of the main body of the house shall not exceed 50'-0" in width. At least two offsets shall be required on the main body. Wings shall have a minimum 8'-0" offset from the front of the main body.

Corner buildings have two front facades visibly exposed to the street designed to respond to these more prominent locations in the site. Corner buildings are encouraged to have wider massings and special treatments that wrap both exposed facades with the same architectural quality and detail.

Lots abutting open space shall use houses designed with porches and massing that respond to both the primary street and the abutting open space.

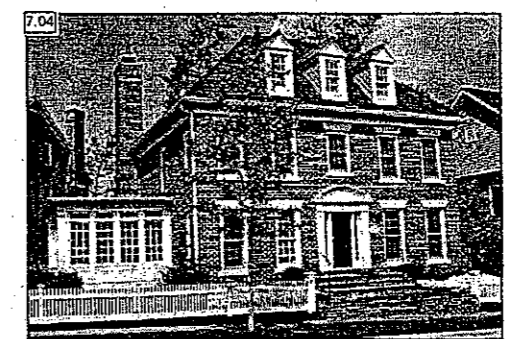
Side yard fences taller than 3'-6" shall be setback a minimum of 16'-0" from front wall of adjacent main body or wing. Side yard fences with

more than 20'-0" in length and parallel to street, shall incorporate decorative brick piers. All side yard fences in excess of 8'-0" in length shall have foundation planting.

Garages shall be located to the rear of the lot to the extent possible. Where attached to the house, front access garages shall be recessed a minimum of 18'-0" behind the primary facade. Shading by an overhang or trellis is highly recommended.

Side entry garages shall not face the street and shall be recessed as a wing from the main body of the house. A maximum of two garage doors shall be visible from a public street.

Driveways shall be a maximum of 9'-0" in width within the front yard.



On lots where wings are recommended, the wing must step back a minimum of 8'-0" from the main body. Front yard fences may not exceed 3'-6" in height.

THE HOMESTEAD AT CARROLLTON

Arcadia Realty Corp.

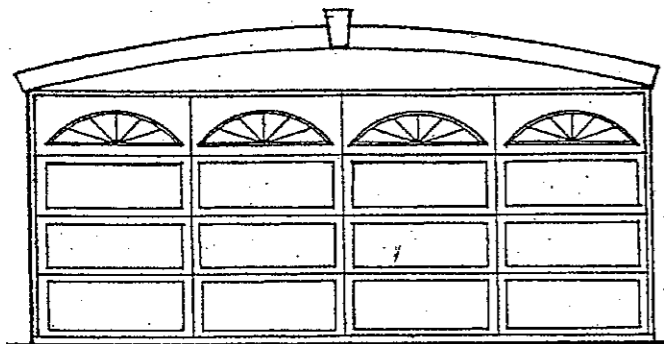
Pattern Book

Carrollton, Texas

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Inappropriate Garage Design & Siting

NO



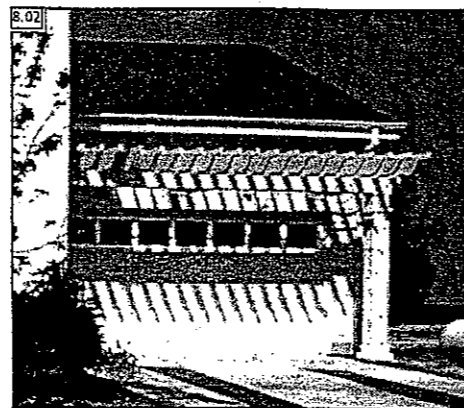
Cornices and garage doors should be proportioned and detailed according to the selected house style. Angled returns and oversized 'box' cornice details are inappropriate. False arched window inserts should not be used.



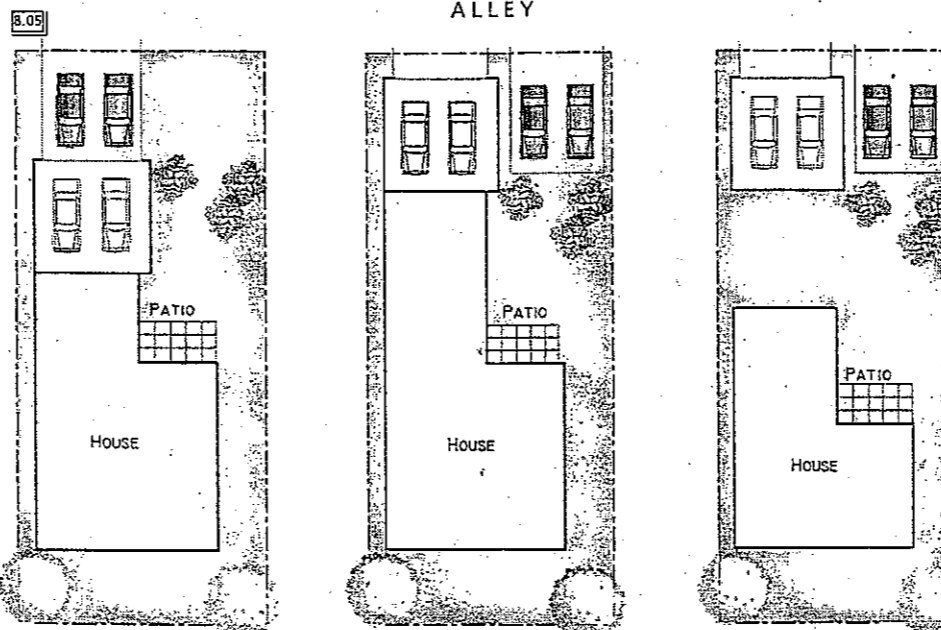
Avoid trendy roof styles that are inappropriate. Various trim detail sizes create an irregular facade.

Appropriate Garage Design & Siting

YES



Front access garages shall be recessed a minimum of 18'-0" behind the primary facade. Shading by an overhang or trellis is highly recommended.



Survey results support the desirability of using the above variety of garages and parking arrangements. Research results confirmed that the majority of buyers preferred an attached garage. Additional non-garage parking spaces to the side of the garage proved especially popular.

Appropriate Garage Siting

YES



The use of a garage form and materials that are similar to the architectural quality of the home creates a sense of continuity.



The garage set perpendicular to the house helps enclose this patio space extending from the living room.



This patio off a kitchen or great room is enclosed partially by the garage wing.

General Notes: Garage Design & Siting

Garages
Garage access to primary or side street is not allowed when an alley is provided.

Minimum of one (1) exterior decorative light fixture 75 watt, operated by motion detection, shall be provided along the rear facade of each garage.

Garage forms, detailing, and fence design, etc. should be similar in quality to primary facade elements of the house.

Garage and Parking Configuration
A variety of garage and parking arrangements should be provided to create a more visually interesting alley.

Garages facing the alley should be at least 5'-0" from the property line.

Front Loaded Estate Lots
Garages shall be located to the rear of the lot to the extent possible. Where attached to the house, front

access garages shall be recessed a minimum of 18'-0" behind the primary facade. Shading by an overhang or trellis is highly recommended.

Side entry garages shall not face the street and shall be recessed as a wing from the main body of the house or located in the rear of the lot.

A maximum of two garage doors shall be visible from a public street.

Driveways shall be a maximum of 9'-0" in width within the front yard.

Back-out space
A vehicle shall have a minimum of 25'-0" (paved or not paved) to back out of a garage.

Ancillary units located within upper attic areas of the garages are appropriate. Encroachments over the property line are not permitted.

Victorian Revival



Asymmetrical massing, variety in roofline and projecting bay windows are the basic form of Queen Anne-inspired Victorians. The turret, together with a wrap-around porch, creates a strong corner treatment.



Plans with centered entries and symmetrical room arrangements can also be accommodated in a Victorian Revival form. The forward gable is counterbalanced by the inset front porch and projecting bay window.

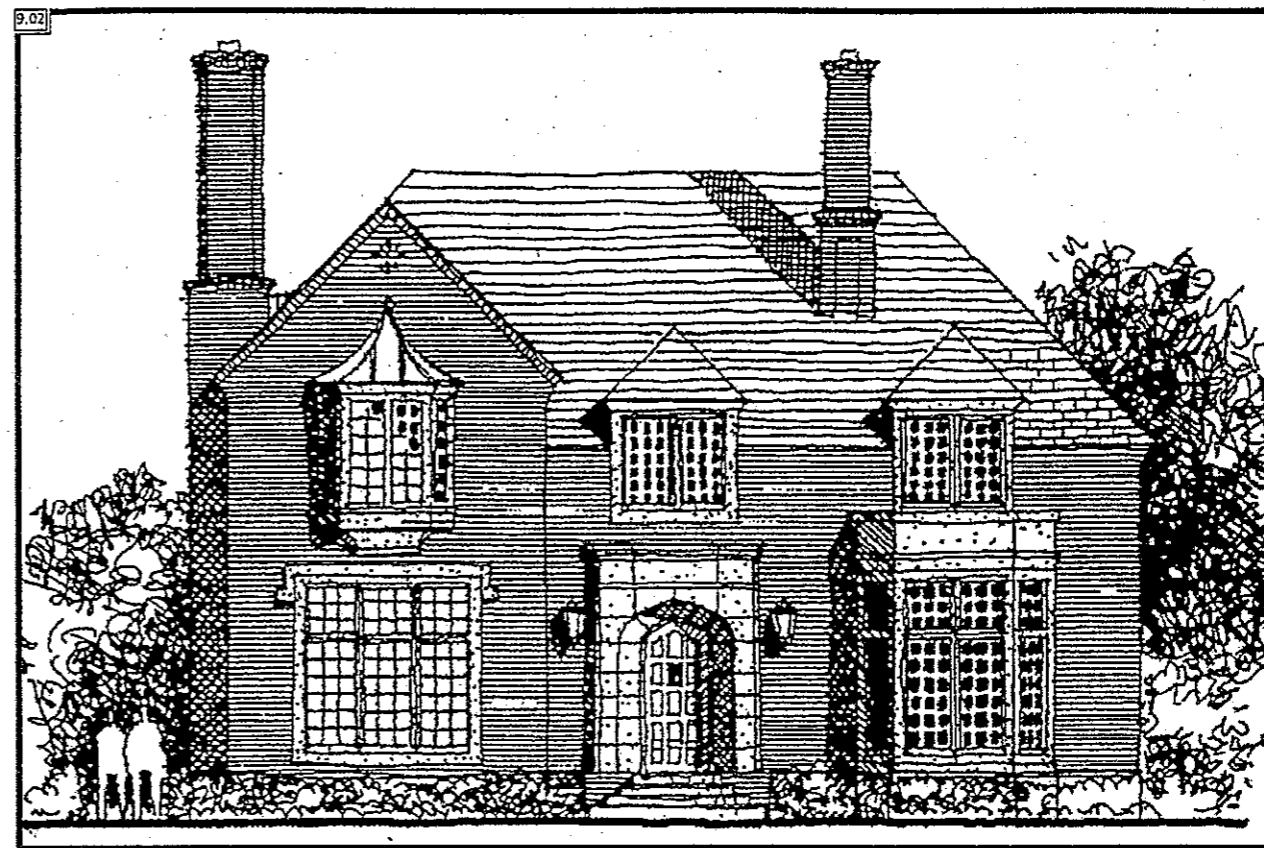


A variety of offsets in the main body, porch and roof help sculpt this house to its corner location. The combination of tall, well-proportioned windows enhance the variation.

Colors and Materials:

- Any shade of clapboard and stucco with a dark brick base
- Dark red brick
- White or cream trim with any color accents

Tudor



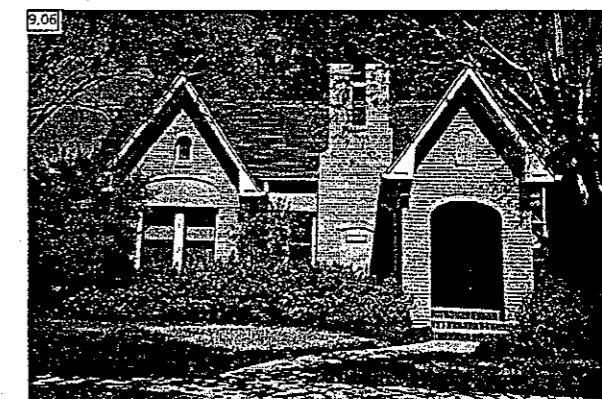
Tudor is a type of eclectic style most popular during the first half of the century. The style is marked by asymmetrical massing, steep pitched gable roofs with prominent cross-gables anchoring the facade. Entries are detailed with masonry surrounds, windows are often grouped in different combinations and heavy masonry chimneys are used as vertical focal points.



Projecting gables anchoring both ends of the house create appropriate balance. If the hipped roof on this house was gabled and some other details adjusted, this house would be more true to the original style.

Colors and Materials:

- Medium to dark tones of brick (dark red or brown) or stucco
- Earthy beige or tan trim with dark brown or black accents
- Gray or black roofs



This house shows how Tudor style can be adapted to a smaller home in a manner typical of Texas urban neighborhoods of the early 20th century.

Classical Revival



Grouped windows on the ground floor provide more light in living spaces while retaining classical proportions and vertical alignment. The main entrance is emphasized by the use of rich detailing such as brick steps, an arched doorway with stone entry surround, and wide railings.



The focal point is created by a progression of elements from decorative piers at the walkway to the full-facade porch. Balustrades, transoms and sidelights add to the formal quality of entryways. The combination of brick and white trim maintain simple, classical appeal.

- Colors and Materials:
- Generally dark red brick with white trim or accents
 - Lighter shades of stucco and clapboard with white trim
 - Gray, black or green roofs



This facade arrangement includes a prominent central doorway flanked by tall, well-proportioned columns and windows to create a well-balanced image. Entry importance is reinforced by use of porch, transom, sidelights and decorative surround. The pent-roof gable helps anchor overall symmetry.



While breaking somewhat from the rules of pure style, this classically-inspired home successfully blends a gable into the facade composition. Window proportions and front entry detailing keep the house firmly within a classical design vocabulary.



A well-proportioned porch framed by a series of columns provides a sense of formality and importance to single-story homes. Wings on both sides allow the floor plan to extend out in clearly punctuated steps that result in a highly interesting curb appeal in the front and defined patio spaces behind.



On a more modest home, attention to a few key details, such as shutters on the upper windows, and a classical balustrade, create an elegant appearing home within a classical design vocabulary. Traditional roof forms, such as simple hipped or gabled, allow more emphasis to be placed on the front facade and not on the roof mass.

Texana Farmhouse



Research results indicate that this was the most popular Texana Farmhouse Style. Five windows on top with four windows on bottom with a central gable provide a well-balanced look. The metal roof accents the wrap-around porch and contrasts with the other materials.



Five windows on top with four windows on bottom with a central gable provide a well-balanced look. The massing and detailing of the garage wing differentiate it from the main body.

Colors and Materials:

- Generally light to medium shades of clapboard
- White trim and lattice-skirted wrap-around porches
- Light to medium gray or red roofs



Finished first floor is raised above grade and accentuated by a porch with a lattice skirt. Dormers can further add to the vertical proportions of the simple mass.



Variation can be achieved by shifting porches to the side to suggest, but not actually achieve, a wrap-around. Large informal porches that can serve as "outdoor rooms" are the hallmark of this style. The lack of a roof overhang on the gable end is inappropriate.



Wrap-around porches can be combined with cross-gable massing to achieve a diverse appearance from different angles along the street. Many of the details on the second floor of this home could be improved to be more appropriate.



By grouping windows, eliminating shutters and simplifying porch details, a modern, informal appearance is created which appeals to more contemporary-oriented buyers.

Cottage & Craftsman



Research indicated that this house was the most popular of all the cottage/craftsman style homes.



Generous use of tall windows adds height to simple, one-and-one-half (1 1/2) story homes. This house would be more appropriate if the finished first floor was raised above grade.

Colors and Materials:

- Clapboard or medium-tone brick (including tan)
- White or cream trim
- Gray, green or red roofs



Entryways incorporated into informal porches create an "outdoor room". Grouped windows add light to the interior of the house while balancing the shutter detailing on the front door.



Simple, raised stoops and a rhythm of piers with classically-detailed columns provide a sense of enclosure while enhancing the front entrance. The roof mass is articulated by a modern detailed dormer.

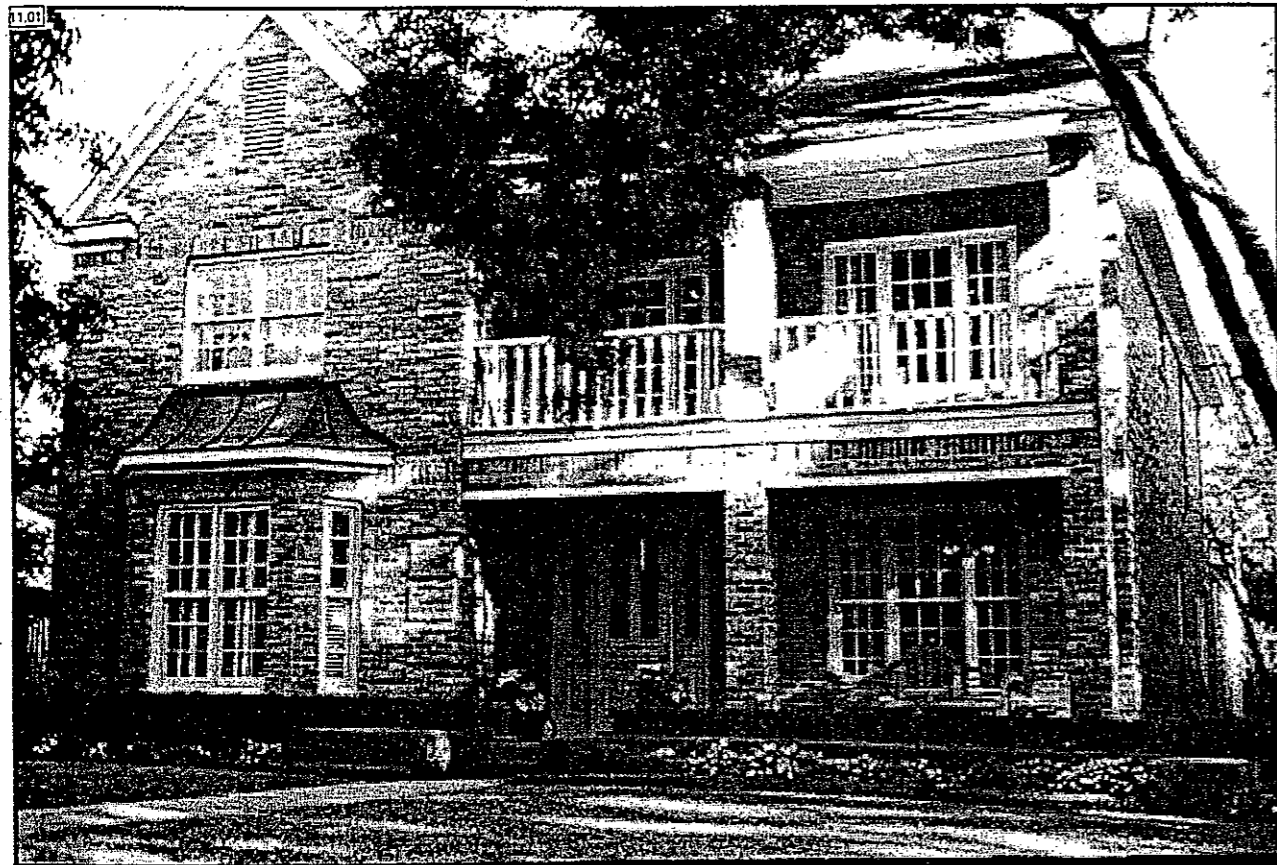


Careful proportioning of porches, windows and dormers creates a sense of balance.



Use of a pediment and fenestration together with a raised porch and columns can add a feeling of importance to cottage-style homes.

Other Appropriate Styles



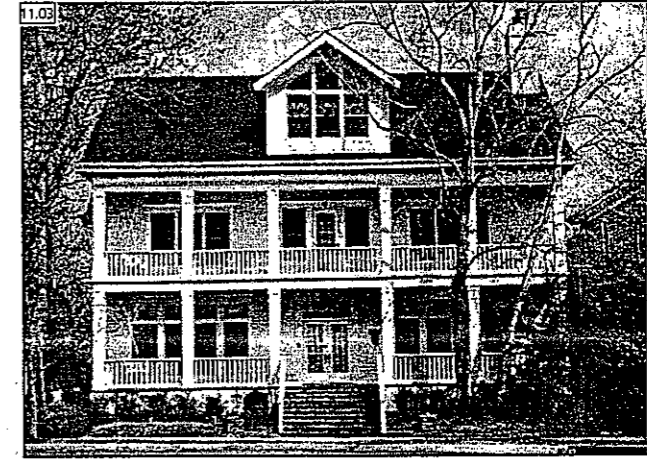
By combining a two-tiered porch with carefully detailed doors and grouped windows, an air of informal elegance is achieved on this Highland Park style home. While multi-colored brick is generally not recommended, this house shows an appropriate use of this material.



This house is a more contemporary stucco version of the same style shown above.



This house uses a richly detailed bay window projecting from a forward gable, balanced by a porch (left) and pergola (right), that articulates a rich, complex composition. The richly detailed base course anchors the bay window and contrasts with the simple, lighter massing in the upper portion of the house.



Traditional, two-tiered columned porches combined with contemporary window massing and simplification of details creates an informal but grand effect. The lighter composition of simple, grouped windows on the dormer is balanced by the more solid brick entry steps below.



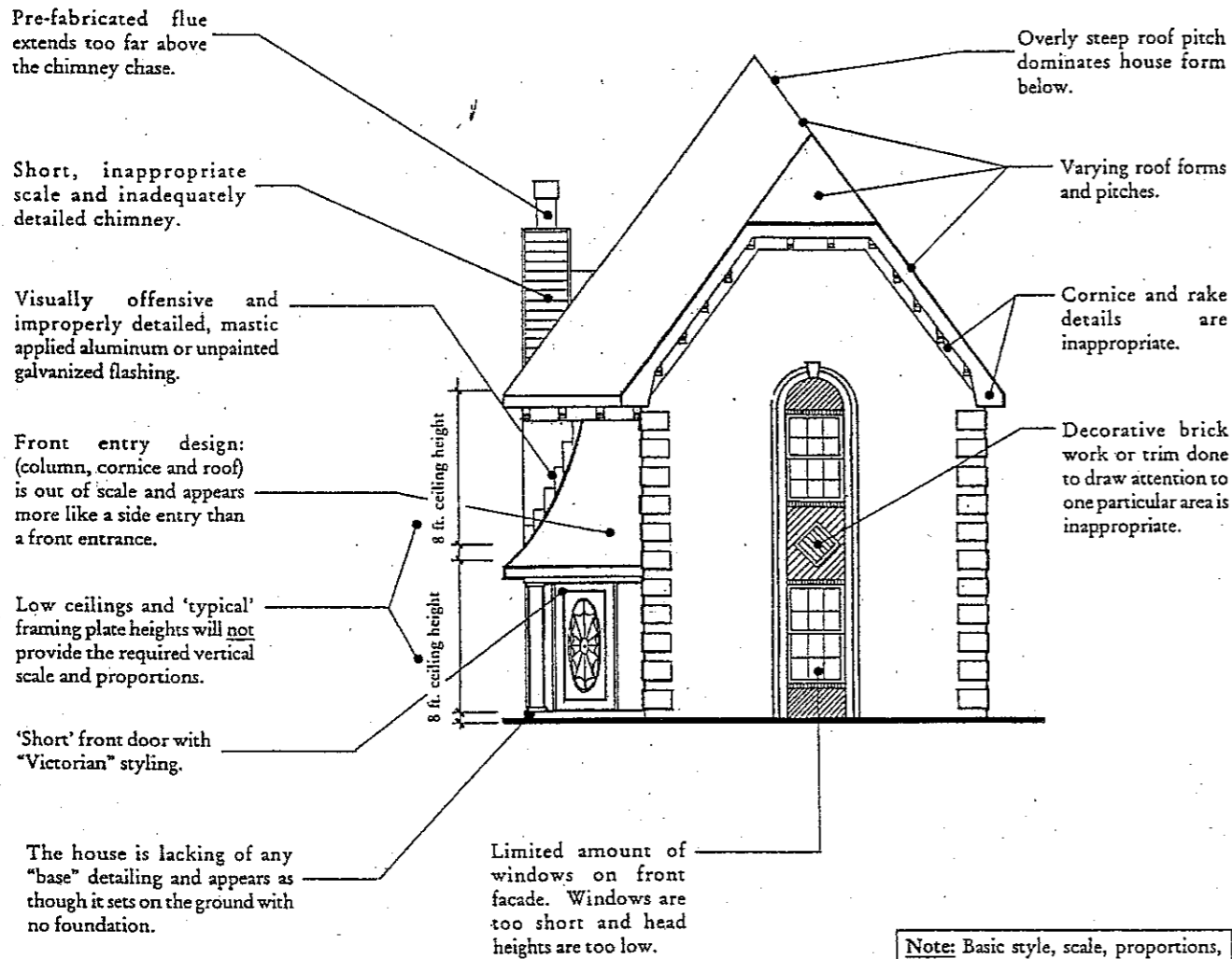
This Colonial-inspired reinterpretation pulls the entry bay forward to help inset the porch and balcony. The front entry detailing and stair could have been more appropriately detailed.



Paired columns, dormers, and tall, detailed windows create an accentuated vertical proportion to this house. The brick base, entry steps and raised foundation allow the house to sit closer to the sidewalk.

Inappropriate Alley Loaded Facade Design

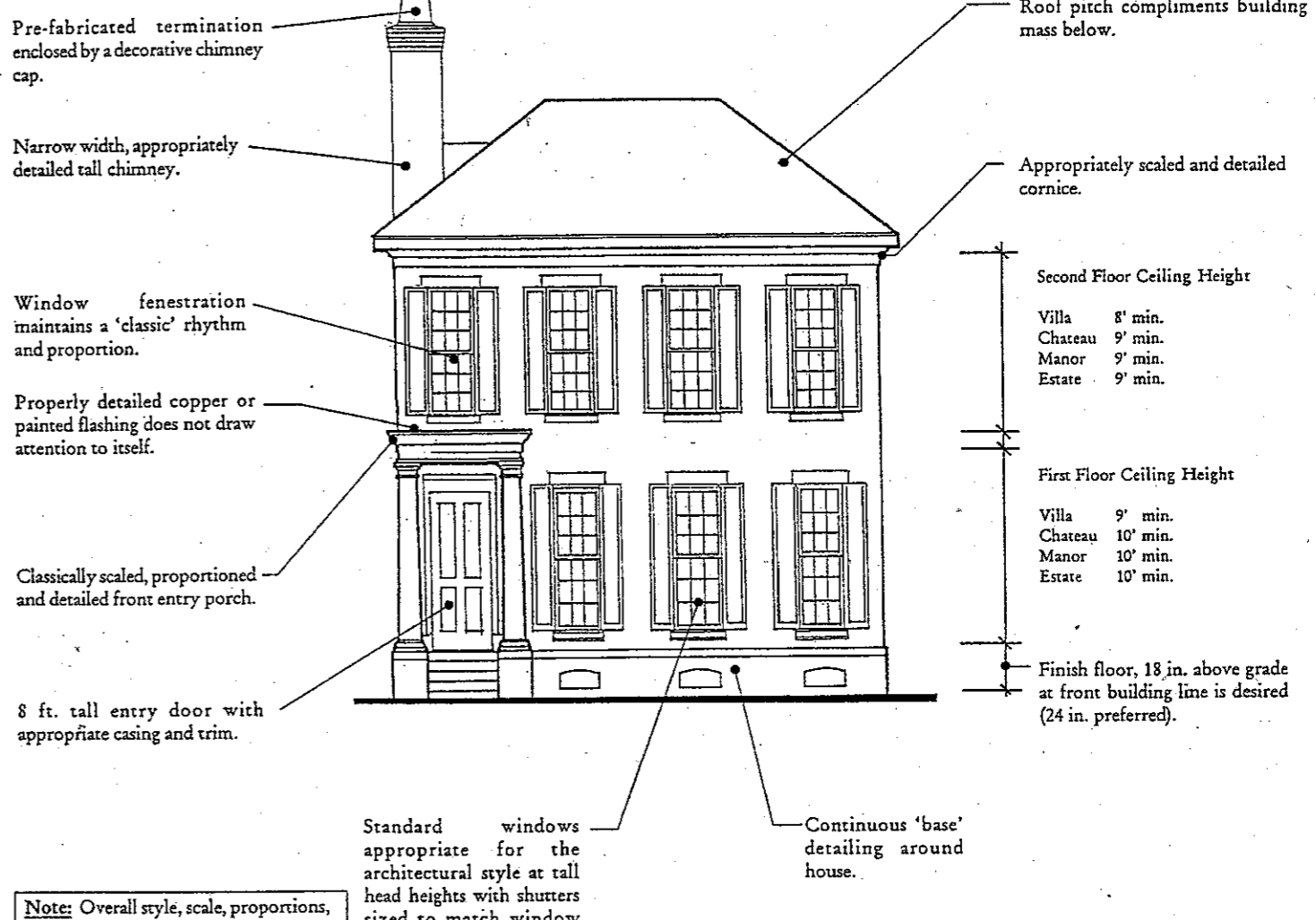
NO



Note: Basic style, scale, proportions, details and composition of elements are totally inappropriate.

Appropriate Alley Loaded Facade Design

YES



Note: Overall style, scale, proportions, details and composition of elements compliments each other.

General Notes:
Facade Design

Chimneys

The review of all chimneys shall be site specific. Visible chimneys shall be brick or stucco board, Hardiplank siding may be acceptable in less visible locations as determined by the Design Review Committee. On corner lots and other locations where a chimney is highly visible from a street, the chimney shall be at least 2' taller than required by code and detailed simply. Spark arrestors shall be screened with chimney cap.

Roofing

Standing seam metal roof, slate or synthetic slate, wood, or dimensional asphalt or fiberglass shingles. Dimensional asphalt or fiberglass shingles shall have no less than a 25-year life. Hipped or gabled roof forms with consistent pitches of 7/12 to 9/12.

Gutters and Downspouts

Standard rectangular shape, half-round or ogee-shaped gutters with rectangular or round downspouts. Standard rectangular shaped gutters and downspouts shall be located on the side or rear elevations of homes.

No downspouts shall be affixed to columns.

Doors and Windows

Standard 6'-8" doors with appropriate casing and trim are acceptable. Transoms shall be used where appropriate to the architectural style.

Standard windows appropriate for the architectural style at tall head heights with shutters sized to match window openings shall be used.

Shutters

Paneled or louvered shutters sized to match actual

window size. Shutters shall be mounted with hinges and held with shutter dogs and shall otherwise appear to be operable through the use of non-visible fasteners. Standard-sized shutter widths are acceptable.

Exterior Materials

Research results indicated that brick or a combination of brick and siding were the most preferred exterior materials. Results indicated, however, that other materials or combinations of materials (use of stone, stucco, clapboard) would also be acceptable where the

overall architectural style and character of the house were considered exceptional.

All brick must be reviewed and approved by the Design Review Committee. Standard and queen size brick is preferred, but king size is acceptable. Brick colors should be appropriate to the style of the home. White brick is prohibited. All mortar joints shall be concave tool-finished.

Finished Floor

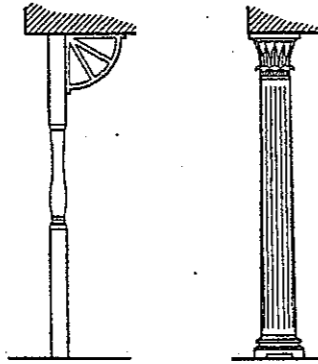
Finish floor shall be minimum 18 in. above grade at front building line (24 in. preferred). Final height to be determined based on grading plan. Finished floor elevation, slab elevation, and ground elevation at front of house shall be shown on the site plan for each lot.

Inappropriate Columns, Rake and Cornices

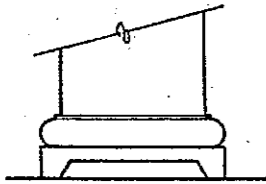
NO



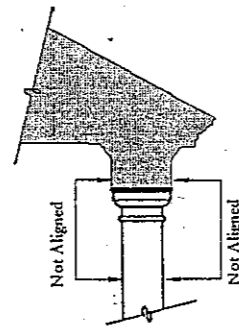
Job-built columns which do not follow 'classic' scale and proportion of details and elements are inappropriate.



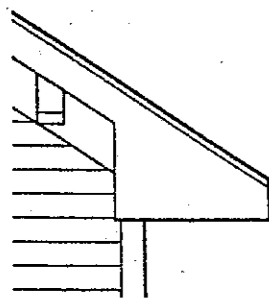
Highly detailed columns are only appropriate if properly scaled and proportioned on accurately detailed historical house styles.



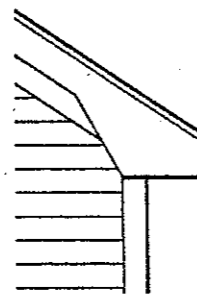
Visible aluminum vent blocks are inappropriate. Note: Aluminum columns are not allowed.



Outside face of frieze board or beam does not align with shaft of column.



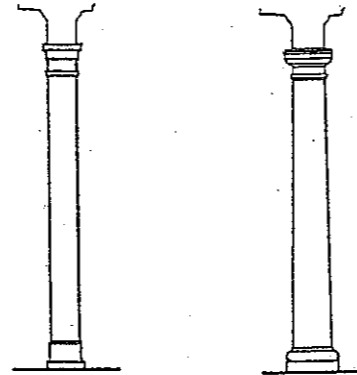
Do not terminate deep overhangs with an oversized 'box' cornice detail. Awkward proportioned and detailed cornices are inappropriate.



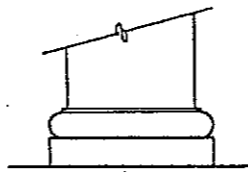
Angled return is not allowed.

Appropriate Columns, Rake and Cornices

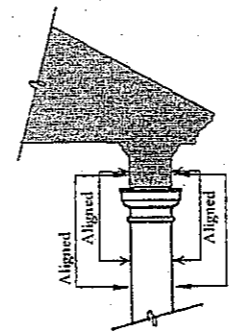
YES



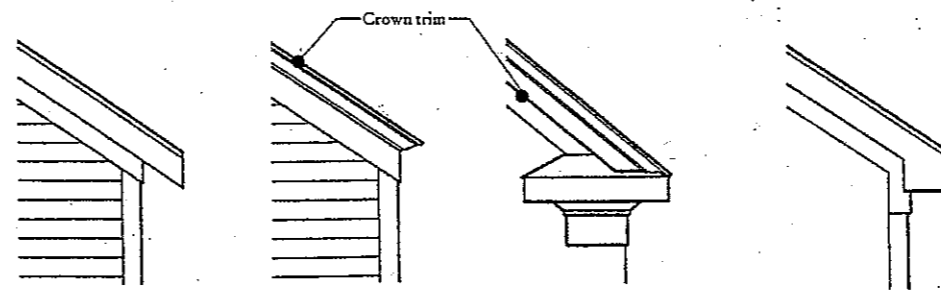
Whether job-built or manufactured, columns must follow 'classic' time-tested scale and proportions based on house style.



Solid stone, brick, or wood column base.

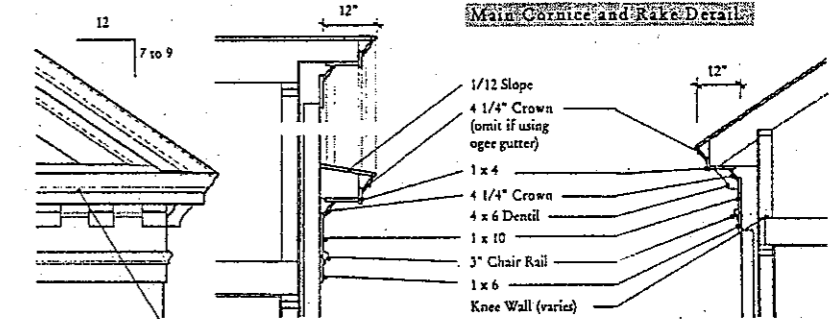


Outside face of frieze board or beam aligns with shaft of column. Column cap projects beyond face of frieze board or beam (both sides).

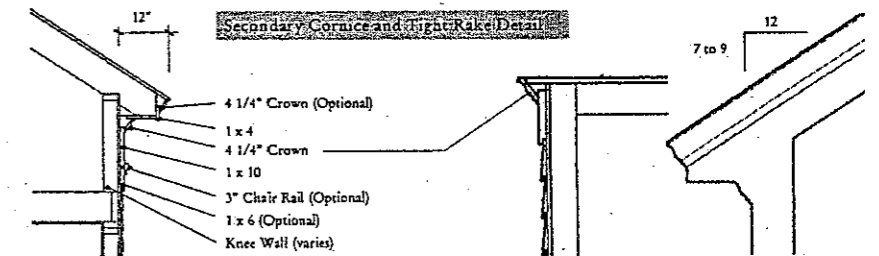


Note: Rafters bear on plate on top of ceiling joists to provide greater vertical scale and allow taller window head heights below on front elevation, if appropriate for the architectural style.

'Classic' appropriately scaled and detailed cornices which follow time-tested proportions.



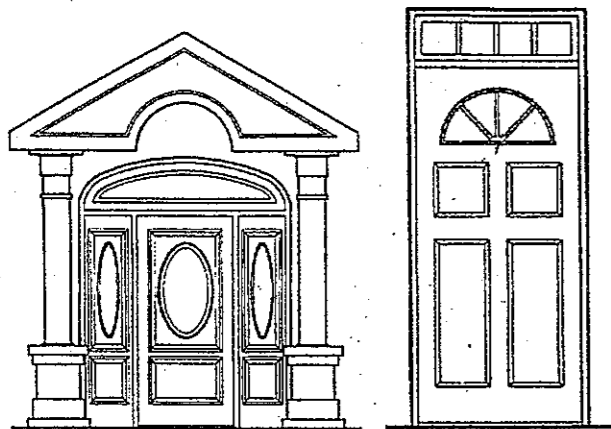
Gable ends should have properly detailed cornice returns.



Note: Details shown for informational purposes only. Columns, rake and cornice details shall be submitted with the plans for each home regardless of whether such details match those on this page or represent a design of comparable quality materials and details. Such details shall be appropriate to the architectural style of the home.

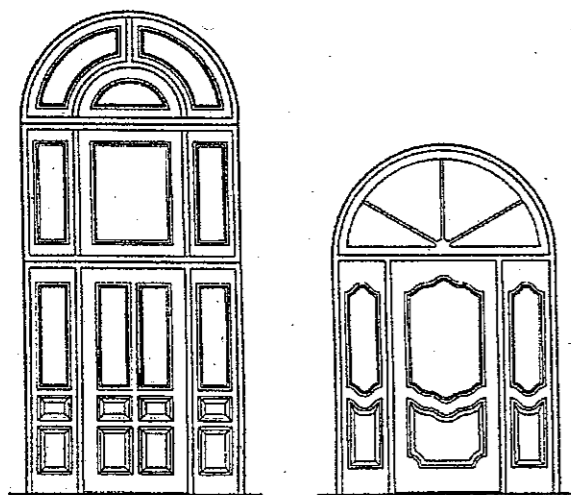
Inappropriate Entry & Doors

NO



Decorative entry with an inappropriately scaled entry surround and pediment.

Inappropriate door with short transom above.

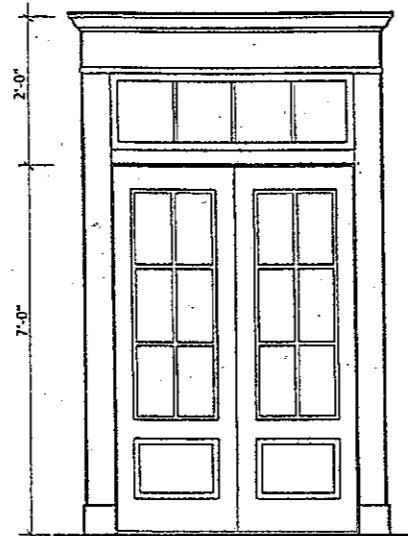


Short, inappropriately styled doors with oversized, arched transoms above.

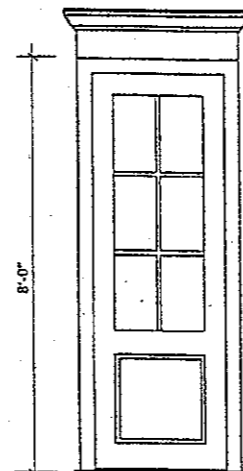
Note: Door sidelights and transom style are also inappropriate.

Appropriate Entry & Doors

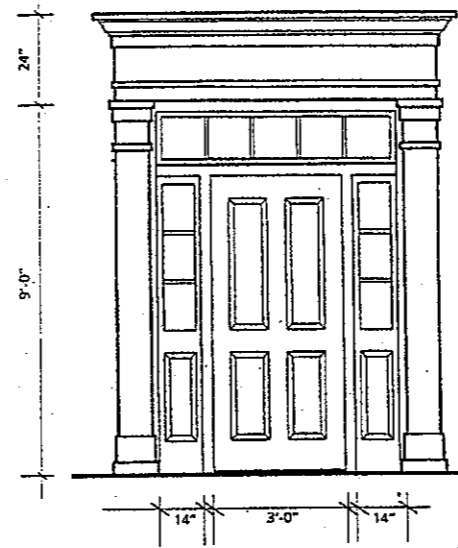
YES



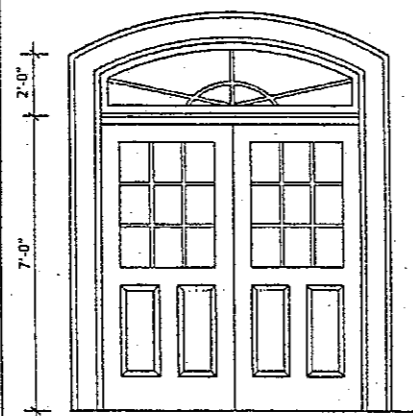
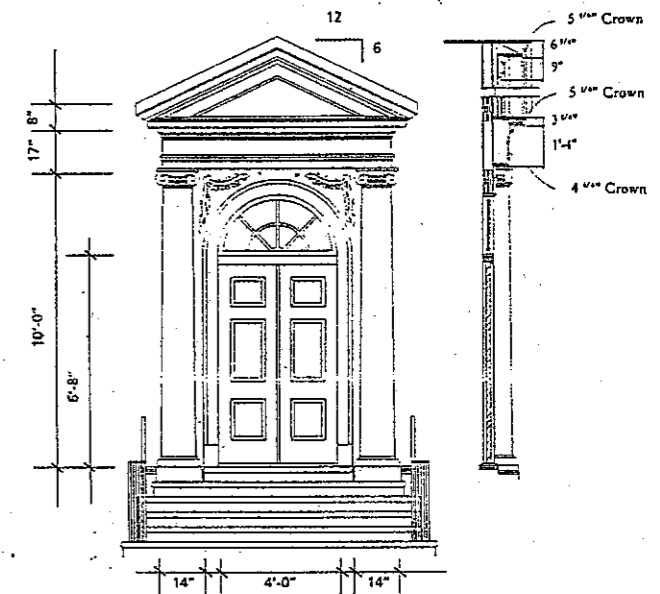
7'-0" tall door, tall transom, appropriate casing and head trim. Standard 6'-8" doors with appropriate casing and trim are acceptable. Transoms shall be used where appropriate to the architectural style.



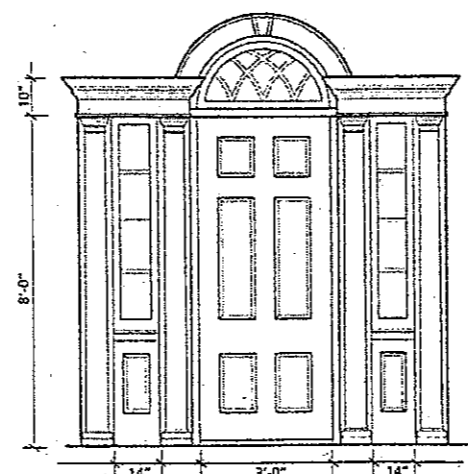
8'-0" tall door, with appropriate entry surround.



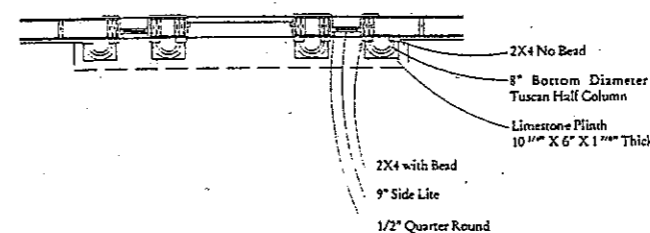
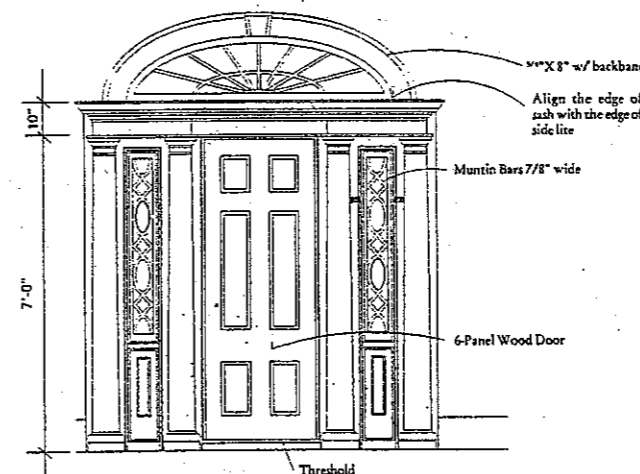
7'-0" tall door with sidelites and properly sized transom with appropriate entry surround.



Decorative entry with an appropriately scaled and proportioned 6 foot wide door and properly sized transom.



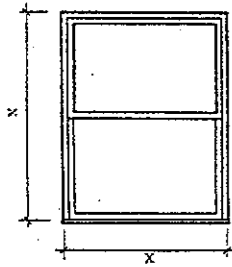
Special emphasis should be directed towards the front cornice, entryways, and other highly visible areas. Decorative entries should be based upon historical details, scale, and proportion of the selected house style. An elaborate door surround should be used with a 4-, 6-, or 9-paneled door. Often, a semi-circular or elliptical fanlight is incorporated into the entryway. Rectilinear transoms should be approximately 16" tall.



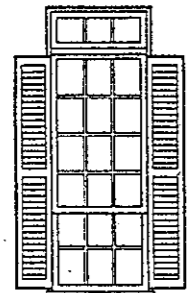
Note: Details shown for informational purposes only. Entry and door details shall be submitted with the plans for each home regardless of whether such details match those on this page or represent a design of comparable quality materials and details. Such details shall be appropriate to the architectural style of the home.

Inappropriate Windows & Dormers

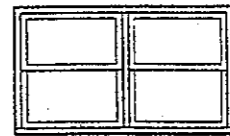
NO



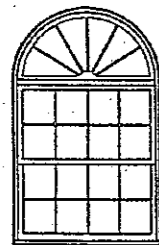
Inappropriate window height / width ratio.



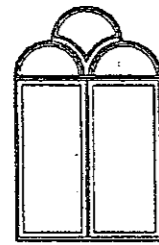
Inappropriate shutter size which does not match window style. Transom height is too short. A 7'-0" window is preferred over a 6'-0" window with a 1'-0" transom.



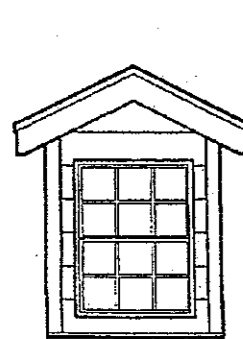
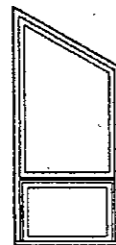
'Short' double hung windows are inappropriate.



Full arched windows are appropriate only when used in 'historically' appropriate house styles.



'Trendy' window styles are inappropriate.

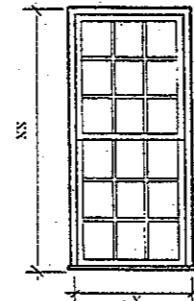


Inappropriately scaled and detailed dormers, windows, and rake details.

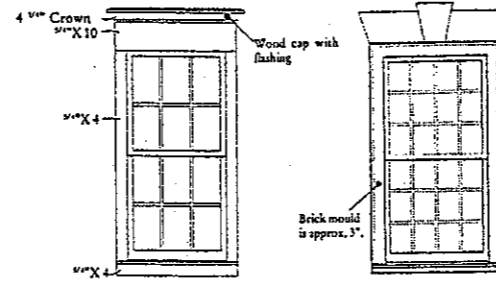


Appropriate Windows & Dormers

YES

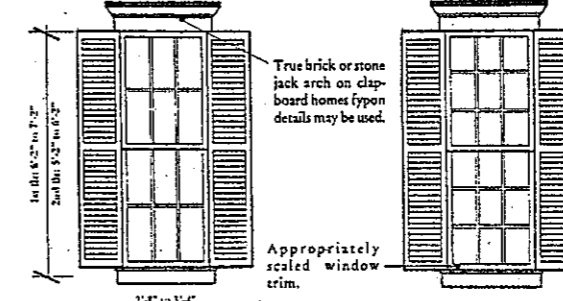


Vertical window proportion with a min. ratio of 1 wide to 2 high. Standard single-hung aluminum windows appropriate for the architectural style may be used.

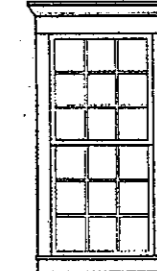


Windows should be 3-, 5-, or 7-ranked and symmetrically balanced around center door. Windows should have double-hung sashes and 6/6, 6/9, 9/6, 9/9, or 12/12 lights per sash.

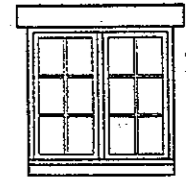
Properly sized shutters



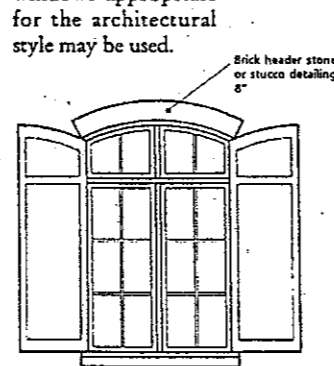
Paneled or louvered shutters sized to match actual window size. Shutters shall be mounted with hinges and held with shutter dogs and shall otherwise appear to be operable through the use of non-visible fasteners. Standard sized shutter widths are acceptable.



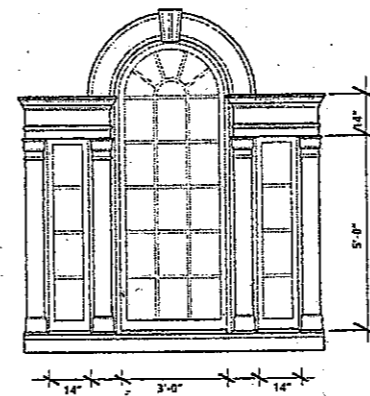
6'-0" tall or taller window is desired for the first floor level.



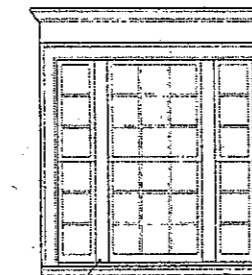
Consider casement windows for heights below four (4) feet.



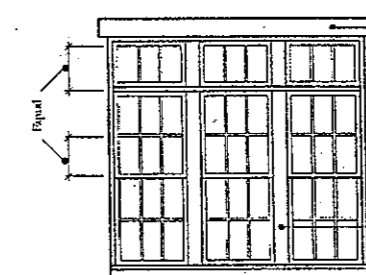
Shutter style exactly matches window style.



Grouped windows, such as the palladian window, are commonly used above the entry, although they are not used as a repeated element.



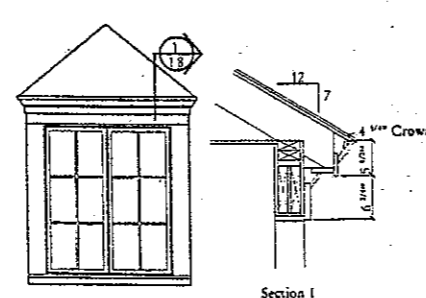
Grouped windows should be arranged to maintain a pattern of vertical porportion.



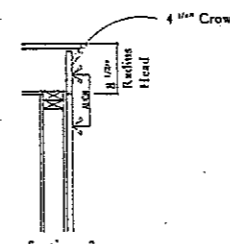
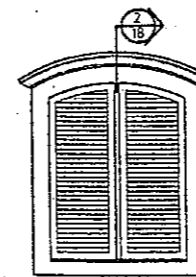
Transom height matches height of lite below. Transom heights are a minimum of 16 inches. Their proportions are 3 to 1.

On brick house, a minimum Brick Soldier course shall extend ± 4 in. beyond brick mould. Brick detail 7 1/2 in.

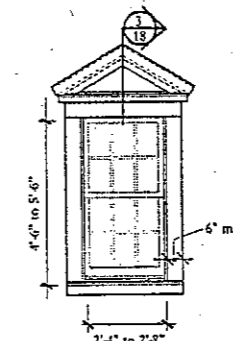
Appropriately scaled and detailed dormers.



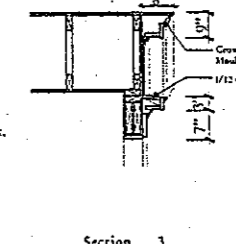
Section 1



Section 2



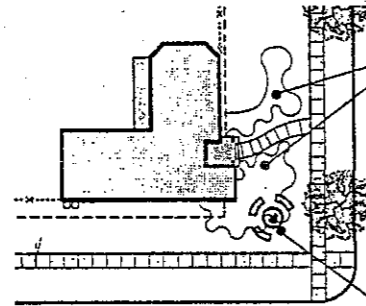
Section 3



Section 3

Note: Details shown for informational purposes only. Window and dormer details shall be submitted with the plans for each home regardless of whether such details match those on this page or represent a design of comparable quality materials and details. Such details shall be appropriate to the architectural style of the home.

Inappropriate Landscaping



Avoid irregular shape landscape beds and plantings which do not reinforce the architectural lines of the house and streetscape.



BBQ grilles and play sets are not allowed within front yards or public view areas.

NO

Appropriate Landscaping



Landscaping
Front yards shall contain sod, flowering trees and regular geometrically-shaped planting beds with perennial and annual flowering plant materials. Planting beds shall reinforce the architectural lines of the house and streetscape.

All plant material in front yards or public view areas should consist of texture and shape that will compliment surrounding structures. Flowering ornamental plantings for seasonal color are strongly encouraged.

Front yards may have a hedge provided that its minimum height does not exceed 3'-6" and its location is a minimum of 18" from the sidewalk. The area between a hedge and sidewalk shall be primarily planted with ground cover.

Large shade trees are encouraged within the private areas of a lot.

The space between the fence and the alley pavement shall be landscaped with small trees, grass, ground cover, and shrubs.

All side yard fences in excess of 8'-0" in length shall have foundation planting.

YES

General Notes: Landscaping & Fencing Elements

Fences

Appropriate fence types require that the conditions within this section on style, location, height, and materials are compatible with the architecture of the house. The detailing, quality and the finish is most important on the side exposed to public view.

Inappropriate fence types violate the style, location, height and materials set forth in this section. Typical shadow box fences, chain link fences, overly detailed or awkwardly detailed fences are inappropriate.

Front yards may have a non-solid fence provided that its minimum height does not exceed 4'-0" and its location is a minimum of 18" from the sidewalk edge. Ground cover may be planted along the edge of the fence or hedge facing the sidewalk.

Fences along the side street of a corner lot (except estate lots) shall not exceed 6'-0" total height, but only bottom 4'-0" can be solid, with the upper portion 50% open. Fences along the side street shall respect the minimal 18" landscape strip between sidewalk and fence, planted with groundcover. Fence height may not exceed 3'-6" within 10'-0" of the intersection of an alley.

Fences along alleys shall be of complementary but simplified design quality to front and side yard fences and shall not exceed 6'-0" total height. Solid fences shall have decorative cap detailing. Tall fences lacking any 'detail' abutting the alley are not preferred. On a corner lot, fences along the alley may only have the bottom 4'-0" solid with the upper portion 50% open. Fence height may not exceed 3'-6" within 10'-0" of the intersection of an alley.

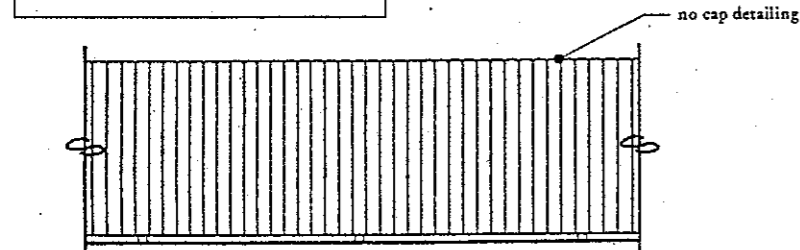
Rear yard fences and side yard fences adjacent to parks must maintain the style and quality standards of front and side yard fences. They shall be compatible with the architectural design of the home and maintain a high quality image on both sides. The fences shall not exceed 6'-0" total height, only bottom 4'-0" can be solid, with the upper portion 50% open and may be located on the property line.

Estate Lots

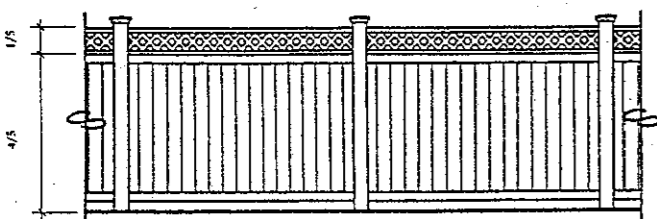
Side yard fences parallel to the street taller than 3'-6" shall be set back a minimum of 16'-0" from the front wall of adjacent main body or wing. Side yard fences with more than 20'-0" in length and parallel to the street, shall incorporate decorative brick piers.

Service enclosures contain utility meters and refuse containers that shall be screened from public view. The fence shall be compatible with the architectural design of the home and maintain a high quality image. It shall not contain a locking gate which would prevent utility company employees from entering.

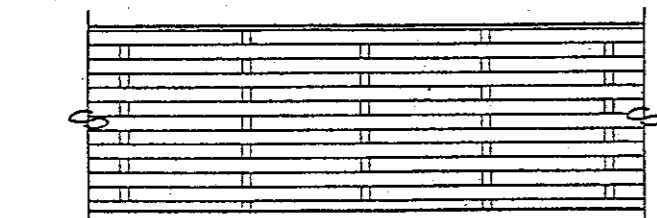
Inappropriate Fencing



Typical 'Cedar Fence'



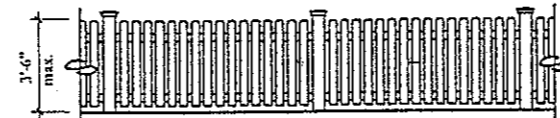
Appropriate concept yet inappropriate proportions



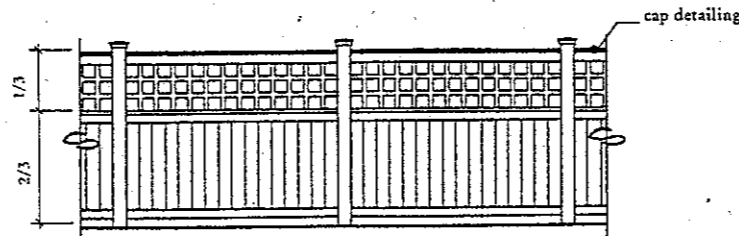
Horizontal 'Shadow Box'

NO

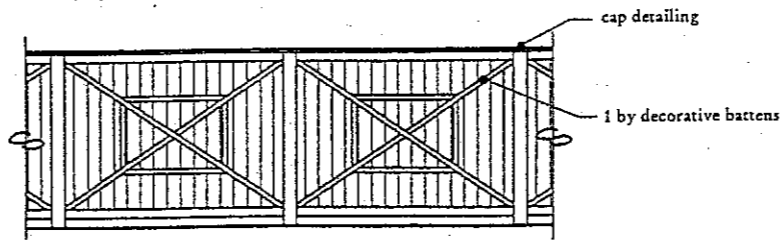
Appropriate Fencing



Simple 'Picket Fence' - (All areas)



2/3 Solid Wood with 1/3 open above - (any area except front yard)



Wood with Battens - (service drive / common side yard)

YES