



at Carrollton **THE HOMESTEAD AT CARROLLTON, PHASE I
HOMEOWNERS' ASSOCIATION, INC.**
(the "Association")

ARCHITECTURAL STANDARDS BULLETIN 4.5-10: WINDOW GRIDS

WHEREAS, pursuant to Article Four, Section 4.5 of the Declaration of Covenants, Conditions and Restrictions for The Homestead at Carrollton, Phase I (the "Declaration"), the Architectural Control Committee (the "Committee") for the Association is authorized to publish and promulgate bulletins regarding architectural standards which shall be fair, reasonable and uniformly applied; and

WHEREAS, pursuant to Article Nine, Section 9.4 of the Declaration provides, in pertinent part, that homeowners shall maintain the exterior of all buildings, fences, walls and other improvements on each Lot in good condition and repair; and

WHEREAS, the Pattern Book for The Homestead At Carrollton identifies appropriate windows as windows with grids; and

WHEREAS, the Committee has determined it is in the best interests of the community to promulgate an architectural standard governing the manner in which to require grids on windows on each lot; and

WHEREAS, the Committee, with the unanimous consent of the Board of Directors of the Association (the "Board"), has approved the following standard regarding window grids.

NOW, THEREFORE, the Committee and the Board have adopted the following standard which will clarify section 3.11 of the Declaration as it relates to the required grids on windows:

If grids exist on windows, when the windows are replaced, they must have grids similar to those being removed.

If front or street facing windows are missing the grids, when the windows are replaced, the windows must contain the grids as shown in the Pattern Book.

Side windows that have grids need to be replaced with windows with similar grids to those removed. The grids are required if visible when standing at any point along sidewalk/road along the front/side of the house, not obscured by HOA approved fence line.

Back windows are not required to have grids. Homes on a corner lot require the grids as these windows can be seen from the street.

IT IS HEREBY RESOLVED that this Architectural Standards Bulletin is effective upon adoption hereof, to remain in force and effect until revoked, modified or amended.

Approved and adopted by the Board on this 28 day of September, 2020

President, Homestead at Carrollton Homeowners Association Phase I

Jill Sparks 
 DocuSigned by:
Jill Sparks
DB9E93748C9347C...
(Signature)

Denton County
Juli Luke
County Clerk

Instrument Number: 182333

ERecordings-RP

MISCELLANEOUS

Recorded On: November 09, 2020 04:25 PM

Number of Pages: 6

" Examined and Charged as Follows: "

Total Recording: \$46.00

***** THIS PAGE IS PART OF THE INSTRUMENT *****

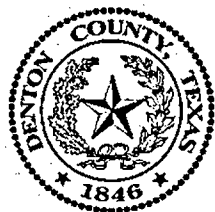
Any provision herein which restricts the Sale, Rental or use of the described REAL PROPERTY because of color or race is invalid and unenforceable under federal law.

File Information:

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Station: Station 20

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STATE OF TEXAS
COUNTY OF DENTON

I hereby certify that this Instrument was FILED In the File Number sequence on the date/time printed hereon, and was duly RECORDED in the Official Records of Denton County, Texas.

Juli Luke
County Clerk
Denton County, TX

**SECOND SUPPLEMENT TO NOTICE OF FILING OF DEDICATORY INSTRUMENTS
FOR
THE HOMESTEAD AT CARROLLTON**

STATE OF TEXAS §
 § **KNOW ALL MEN BY THESE PRESENTS:**
COUNTY OF DENTON §

THIS SECOND SUPPLEMENT TO NOTICE OF FILING OF DEDICATORY INSTRUMENTS FOR THE HOMESTEAD AT CARROLLTON (this "Second Supplemental Notice") is made this 04 day of November, 2020, by The Homestead at Carrollton, Phase I Homeowners' Association, Inc. (the "Association").

WITNESSETH:

WHEREAS, Arcadia Land Partners 12, Ltd. ("Declarant") prepared and declared an instrument entitled "Declaration of Covenants, Conditions and Restrictions for The Homestead at Carrollton, Phase I" recorded in Volume 4082, Page 00544 *et seq.* as Document No. 98-R0034678, Real Property Records, Denton County, Texas (the "Declaration"), as amended and supplemented; and

WHEREAS, Section 202.006 of the Texas Property Code provides that a property owners' association must file each dedicatory instrument governing the association that has not been previously recorded in the real property records of the county in which the planned development is located; and

WHEREAS, on December 11, 2001, the Association recorded a Notice of Filing of Dedicatory Instruments for The Homestead at Carrollton at Volume 4981, Page 05410 *et seq.* of the Deed Records, Denton County, Texas (the "Notice"); and

WHEREAS, on March 8, 2006, the Association recorded a Supplement to Notice of Filing of Dedicatory Instruments for The Homestead at Carrollton as Instrument No. 2006-27007 of the Deed Records, Denton County, Texas (the "Supplemental Notice"); and

WHEREAS, the Association desires to again supplement the Notice to include the dedicatory instrument identified in Exhibit "A-1" attached hereto.

NOW, THEREFORE, the dedicatory instrument identified in Exhibit "A-1" and attached hereto is a true and correct copy of the original and is hereby filed of record in the real property records of Denton County, Texas, in accordance with the requirements of Section 202.006 of the Texas Property Code.

IN WITNESS WHEREOF, the Association has caused this Second Supplemental Notice to be executed by its duly authorized agent as of the date first above written.

THE HOMESTEAD AT CARROLLTON, PHASE I HOMEOWNERS' ASSOCIATION, INC., a Texas non-profit corporation

By: Jill Sparks, Jill Sparks
Its: Homestead HOA President

ACKNOWLEDGMENT

STATE OF TEXAS §
 §
COUNTY OF DENTON §

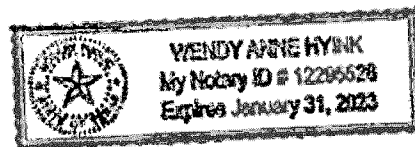
BEFORE ME, the undersigned authority, on this day personally appeared Jill Sparks, HOA President of The Homestead at Carrollton, Phase I Homeowners' Association, Inc., known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that (s)he executed the same for the purposes and consideration therein expressed on behalf of said corporation.

SUBSCRIBED AND SWORN TO BEFORE ME on this 04 day of November, 2020.

Wendy Anne Hyink
Notary Public, State of Texas

1/31/2023
My Commission Expires

AFTER RECORDING, RETURN TO:
Riddle & Williams, P.C.
3811 Turtle Creek Blvd., Suite 500
Dallas, Texas 75219



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EXHIBIT "A-1"

Architectural Standards Bulletin (Window Grids)

